



## FINANCE, LICENSE & REGULATION COMMITTEE

MONDAY, MARCH 24, 2014 – 6:00 PM

COUNCIL CHAMBERS, CITY HALL

### AGENDA

1. Call to Order
2. Roll Call
3. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda except for public hearing items. Comments will be limited to 5 minutes
4. Approve the Finance, License and Regulation Committee Meeting minutes of March 10, 2014 meeting as distributed.
5. **LICENSES & PERMIT**
  - A. Original 2013-2014 Operator (Bartender) License applications filed by Gail Rempert, Renee Hildebrandt, Breana Smith, Jill Delcorps, Kimberly Diekow
  - B. Street Use Permit Application filed by Sean Payne on behalf of the Lake Geneva Farmer's Market to take place at Horticultural Hall, 330 Broad Street, from May 8<sup>th</sup> to October 30<sup>th</sup>, 2014 from 6:00AM to 1:30PM
  - C. Park Reservation Permit Application filed by Ryan Lasch on behalf of the Lake Geneva Jaycees to use Seminary Park for the annual Jaycees Easter Egg Hunt on April 19, 2014 from 9:00am to 1:00pm  
*(recommend at 3/12/14 Board of Park Commissioners meeting)*
6. Discussion/Recommendation on consideration of sale of North Edwards Boulevard property
7. Discussion/ Recommendation authorization of sale of surplus property – holiday decorations *(recommended at 3/13/14 Public Works Committee meeting)*
8. Discussion/ Recommendation on approval of concessionaire contract for Dunn Field *(recommended at 3/12/14 Board of Park Commissioners Meeting)*
9. Discussion/Recommendation on approval of concessionaire contract for Veterans Park *(recommended at 3/12/14 Board of Park Commissioners Meeting)*
10. Resolution 14-R09, authorizing the decrease of the Designated Fund Balance – EMS Act 102 Program account in the amount of \$10,236.94 *(continued from 3/10/14 Finance, License and Regulation Committee meeting)*
11. Resolution 14-R22, authorizing a transfer to the General Fund, at year end 2013, an amount of \$275,048.94 from the Lakefront Special Revenue Fund and an amount of \$566,642.69 from the Parking Lots and Meters Special Revenue Fund

**12. Presentation of Accounts**

- A. Purchase Orders (None)
- B. Prepaid Bills \$10,258.07
- C. Regular Bills in the amount of \$1,130,002.60
- D. Acceptance of Monthly Treasurer's Report for February 2014

**13. Adjournment**

*Requests from persons with disabilities, who need assistance to participate in this meeting or hearing, should be made to the City Clerk's office in advance so the appropriate accommodations can be made.*

3/21/14 5:00PM

cc: Committee Members, Mayor & remaining Council, Administrator, City Clerk, Attorney, Treasurer



## FINANCE, LICENSE & REGULATION COMMITTEE

MONDAY, MARCH 10, 2014 – 6:00 PM

COUNCIL CHAMBERS, CITY HALL

### MINUTES

**1. Call to Order**

Chairwoman Hill called the meeting to order at 6:01pm.

**2. Roll Call**

Present: Hill, Hougen, Mott, Kupsik, Lyon

Also Present: Comptroller Pollitt, Clerk Neubeck, Administrator Jordan

**3. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda except for public hearing items. Comments will be limited to 5 minutes**

None

**4. Approve the Finance, License and Regulation Committee Meeting minutes of February 24, 2014 meeting as distributed.**

**Motion #1:** Alderman Kupsik moved to approve the Finance, License and Regulation Committee Meeting minutes of February 24, 2014 meeting as distributed, Alderman Hougen seconded, and the motion passed unanimously.

**5. LICENSES & PERMIT**

**A. Original 2013-2014 Operator (Bartender) License applications filed by Jacob Prickett, Michael Heuser, Kevin Dickey, Adam Hale, Joshua Hurst, Aubrey Rauch, Nancy Troia and Morgan Foley**  
Alderman Mott asked if the applicants paid the necessary fees.

Clerk Neubeck replied the necessary fees were paid.

**Motion #2:** Alderman Hougen moved to recommend the City Council approve Original 2013-2014 Operator (Bartender) License applications filed by Jacob Prickett, Michael Heuser, Kevin Dickey, Adam Hale, Joshua Hurst, Aubrey Rauch, Nancy Troia and Morgan Foley, and Alderman Lyon seconded.

Chairwoman Hill asked how the Operator Licenses are prorated

Clerk Neubeck explained they are prorated from \$50 to \$30 beginning January 1<sup>st</sup>.

**Motion #2** passed unanimously.

**B. “Class B”/Class “B” Temporary Wine and Fermented Malt Beverage License application filed by Sue Tumminello on behalf of the Lake Geneva Symphony Orchestra for the sale of fermented malt beverages and wine at the Riviera Ballroom, 812 Wrigley Drive, Lake Geneva WI for the Lake Geneva Symphony Orchestra City Lights Gala on March 22, 2014, 6:30pm to midnight.**

**Motion #3:** Alderman Kupsik moved to recommend the City Council approve “Class B”/Class “B” Temporary Wine and Fermented Malt Beverage License application filed by Sue Tumminello on behalf of

the Lake Geneva Symphony Orchestra for the sale of fermented malt beverages and wine at the Riviera Ballroom, 812 Wrigley Drive, Lake Geneva WI for the Lake Geneva Symphony Orchestra City Lights Gala on March 22, 2014, 6:30pm to midnight, Alderman Mott seconded, and the motion passed unanimously.

**6. Discussion/Action on a contract with Springsted for a multi-jurisdiction classification/compensation study in conjunction with the Cities of Elkhorn and Delavan**

Administrator Jordan explained the project and funding were approved at the previous City Council meeting, but this item is to approve the contract terms.

Chairwoman Hill said City Attorney Draper reviewed the contract and the cities of Elkhorn and Delavan approved the expenditures as well.

**Motion #4:** Alderman Kupsik moved to recommend the City Council approve a contract with Springsted for a multi-jurisdiction classification/compensation study in conjunction with the Cities of Elkhorn and Delavan, Alderman Lyon seconded, and the motion passed unanimously.

**7. Discussion/ Action on 2014 Riding Mower Replacement bids**

Administrator Jordan explained three vendors submitted five bids, and the recommendation is a 2013 John Deere from Proven Power, Inc. at a price of \$45,991. The mower will be paid from the equipment replacement fund which will be replenished through other means. He noted the fund would necessitate \$330,000 per year to replenish after amortization of the equipment. He suggested the City Council sell a piece of property on Edwards Boulevard.

Chairwoman Hill asked about the priority of this piece of equipment.

Administrator Jordan replied it is important due to the sheer volume of mowing during the summer months which occurs unless there is a drought.

**Motion #5:** Alderman Kupsik moved to recommend the City Council approve the purchase of a 2013 John Deere mower from Proven Power, Inc. for \$45,991 from the City's equipment replacement fund, Alderman Hougen seconded, and the motion passed unanimously.

**8. Resolution 14-R06, authorizing the elimination of the Designated Fund Balance – PD 1033 Program account in the amount of \$244.00**

Comptroller Pollitt explained the money was set aside for the Police Department equipment, and this line item is being eliminated due to the cancelation of the 1033 Program.

Alderman Hougen asked why these Resolutions need to be approved today.

Comptroller Pollitt explained these Resolutions are necessary in order to increase or decrease certain amounts for the year 2013 and are a housekeeping measure as the audit will begin shortly.

**Motion #6:** Alderman Kupsik moved to recommend the City Council approve Resolution 14-R06, authorizing the elimination of the Designated Fund Balance – PD 1033 Program account in the amount of \$244.00, Alderman Lyon seconded, and the motion passed unanimously.

**9. Resolution 14-R07, authorizing the increase in the Designated Fund Balance – PD Donations account in the amount of \$50.00**

**Motion #7:** Alderman Lyon moved to recommend the City Council approve Resolution 14-R07, authorizing the increase in the Designated Fund Balance – PD Donations account in the amount of \$50.00, Alderman Kupsik seconded, and the motion passed unanimously.

**10. Resolution 14-R08, authorizing the decrease in the Designated Fund Balance – PD State Seizures account in the amount of \$2,635.58**

**Motion #8:** Alderman Kupsik moved to recommend the City Council approve Resolution 14-R08, authorizing the decrease in the Designated Fund Balance – PD State Seizures account in the amount of \$2,635.58, Alderman Lyon seconded, and the motion passed unanimously.

**11. Resolution 14-R09, authorizing the decrease of the Designated Fund Balance – EMS Act 102 Program account in the amount of \$10,236.94**

Chairwoman Hill explained the Police and Fire Commission did not approve this Resolution at the last meeting, so this would be approved pending Police and Fire Commission approval.

Alderman Hougen noted the amounts in the Resolution did not add up to the total.

**Motion #9:** Chairwoman Hill moved to continue this item to the next meeting, Alderman Mott seconded, and the motion passed unanimously.

**12. Resolution 14-R10, authorizing the increase in the Designated Fund Balance – Fire CPR Revenue account in the amount of \$1,795.68**

**Motion #10:** Alderman Hougen moved to recommend the City Council approve Resolution 14-R10, authorizing the decrease in the Designated Fund Balance – PD State Seizures account in the amount of \$1,798.68, Alderman Kupsik seconded, and the motion passed unanimously.

**13. Resolution 14-R11, authorizing the increase in the Designated Fund Balance – Fire Donations account by \$6,170.00**

**Motion #11:** Alderman Kupsik moved to recommend the City Council approve Resolution 14-R11, authorizing the increase in the Designated Fund Balance – Fire Donations account by \$6,170.00, Alderman Lyon seconded, and the motion passed unanimously.

Chairwoman Hill expressed her surprise at the low amount spent from this fund.

**Motion #11** passed unanimously.

**14. Resolution 14-R12, authorizing the carryforward of the Police and Fire 2013 capital project budget balances totaling \$15,525.00**

Chairwoman Hill explained the carryforward would allow these items to be spent in 2014.

**Motion #12:** Alderman Kupsik moved to recommend the City Council approve Resolution 14-R12, authorizing the carryforward of the Police and Fire 2013 capital project budget balances totaling \$15,525.00, Alderman Mott seconded, and the motion passed unanimously.

**15. Resolution 14-R13, authorizing the decrease in the Designated Fund Balance – PD Uniform Allowance in the amount of \$671.63**

**Motion #13:** Alderman Kupsik moved to recommend the City Council approve Resolution 14-R13, authorizing the decrease in the Designated Fund Balance – PD Uniform Allowance in the amount of \$671.63, Alderman Hougen seconded, and the motion passed unanimously.

**16. Resolution 14-R14, authorizing the carryforward of the 2013 capital project budget balances in the amount of \$79,513.00**

Comptroller Pollitt explained some projects were already approved and are waiting to receive bills.

**Motion #14:** Alderman Lyon moved to recommend the City Council approve Resolution 14-R14, authorizing the carryforward of the 2013 capital project budget balances in the amount of \$79,513.00, Alderman Kupsik seconded, and the motion passed unanimously.

**17. Presentation of Accounts**

- A. Purchase Orders (None)

**B. Prepaid Bills \$36,616.76**

**Motion #15:** Alderman Hougen moved to approve Prepaid Bills in the amount of \$36,616.75, Alderman Kupsik seconded, and the motion passed unanimously.

**C. Regular Bills in the amount of \$206,338.98**

Comptroller read the bills over \$5,000.

Alderman Mott asked if Comptroller Pollitt examines utility bills year to year.

Comptroller Pollitt explains a spreadsheet is kept, and amounts are compared against each other from months of previous years.

**Motion #16:** Alderman Kupsik moved to recommend the City Council approve Regular Bills in the amount of \$206,338.98, Alderman Lyon seconded, and the motion passed unanimously.

**D. Acceptance of Monthly Treasurer's Report for December 2013 and January 2014**

**Motion #17:** Alderman Kupsik moved to recommend the City Council accept Monthly Treasurer's Report for December 2013 and January 2014, Alderman Hougen seconded, and the motion passed unanimously.

**18. Adjournment**

**Motion #18:** Alderman Hougen moved to adjourn, Alderman Lyon seconded, and the motion passed unanimously.

The meeting adjourned at 6:32pm

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Tim Neubeck, City Clerk

**THESE MINUTES ARE NOT OFFICIAL UNTIL APPROVED  
BY THE FINANCE, LICENSE & REGULATION COMMITTEE**



**REGULAR CITY COUNCIL MEETING**  
**MONDAY, MARCH 24, 2014 – 7:00 PM**  
**COUNCIL CHAMBERS, CITY HALL**

**AGENDA**

1. Mayor Connors calls the meeting to order
2. Pledge of Allegiance – Alderman Wall
3. Roll Call
4. Awards, Presentations, and Proclamations
  - A. Proclamation of April 2014 as Autism Awareness Month
5. Re-consider business from previous meeting
6. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will to be limited to 5 minutes.
7. Acknowledgement of Correspondence
8. Approve Regular City Council Meeting minutes of March 10, 2014, as prepared and distributed
9. **CONSENT AGENDA.** Any item listed on the consent agenda may be removed at the request of any member of the Council. The request requires no second, is not discussed, and is not voted upon.
  - A. Original 2013-2014 Operator (Bartender) License applications filed by Gail Rempert, Renee Hildebrandt, Breana Smith, Jill Delcorps, Kimberly Diekow
  - B. Street Use Permit Application filed by Sean Payne on behalf of the Lake Geneva Farmer's Market to take place at Horticultural Hall, 330 Broad Street, from May 8<sup>th</sup> to October 30<sup>th</sup>, 2014 from 6:00AM to 1:30PM
  - C. Park Reservation Permit Application filed by Ryan Lasch on behalf of the Lake Geneva Jaycees to use Seminary Park for the annual Jaycees Easter Egg Hunt on April 19, 2014 from 9:00am to 1:00pm  
*(recommended at 3/12/14 Board of Park Commissioners meeting)*
10. Items removed from the Consent Agenda
11. Discussion/Action on by-laws of the Geneva Lake Use Committee (GLUC)
12. Discussion/Action on Public Memorial/Facility Naming Policy
13. **Plan Commission Recommendations** *(all recommended at 3/17/14 Plan Commission Meeting)*
  - A. Discussion/Action for Site Plan Review filed by Committee for the Beautification of Lake Geneva Inc, for an open-air, covered pavilion at Flat Iron Park

- B. Resolution 14-R15, to establish an Annual Comprehensive Plan Amendment Process limiting requests to a single cycle every year
- C. Resolution 14-R16, to authorize a Conditional Use Permit to Alex Paredes & Yolanda Frontany, 4843 W. Dakin Street, Chicago, IL, 60641 to operate a Commercial Indoor Lodging facility in a Planned Development (PD) zoning district located at 328 Center Street, Tax Key No. ZOP 00149
- D. Resolution 14-R17, to authorize a Conditional Use Permit to by John and Barbara Salyer, 456 W Sunset Road, Barrington, IL 60010, to install an accessory structure (Pier) closer to the lake shore than the primary structure, within Lakeshore Overlay Zoning District located at 845 Bayview Drive, Lake Geneva, WI 53147, Tax Key No. ZBG 00006
- E. Resolution 14-R18, to authorize a Conditional Use Permit to Rodger Fisher, 946 Ceylon Court, Lake Geneva, WI 53147, to install an accessory structure (Pier) closer to the lake shore than the primary structure, within Lakeshore Overlay Zoning District located at 946 Ceylon Court, Lake Geneva, WI 53147, Tax Key No. ZA1240 00002
- F. Resolution 14-R19, to authorize a Conditional Use Permit to Kwik Trip Inc., 1626 Oak Street, La Crosse, WI 54602, for the installation of an electronic message center on a proposed freestanding monument sign located at the proposed Kwik Trip, Tax Key No's. ZA1776 00001 thru 00004, and ZRA 00037A., A Certified Survey Map is currently being recorded with new Tax Key No. being assigned
- G. Resolution 14-R20, to authorize a Conditional Use Permit to by John J. Karabas, 425 N Lower Gardens Road, Fontana, WI 53125, to open an Indoor Commercial Entertainment (Restaurant) in a General Business (GB) Zoning District located at 816 Williams Street, Tax Key No. ZA2691 00002
- H. Resolution 14-R21, to authorize a Conditional Use Permit to Margaret Klingenberg, 3910 Ridge Road, Spring Grove, IL 60081, to construct a Single Family Residence on an existing lot using the SR-4 Zoning requirements in an Estate Residential Zoning District (ER-1) located at Pine Tree Lane, Tax Key No. ZSY 00002

**14. Finance, License and Regulation Committee Recommendations – Alderman Hill**

- A. Discussion/Action on consideration of sale of North Edwards Boulevard property
- B. Discussion/Action authorization of sale of surplus property – holiday decorations (*recommended at 3/13/14 Public Works Committee meeting*)
- C. Discussion/Action on approval of concessionaire contract for Dunn Field (*recommended at 3/12/14 Board of Park Commissioners Meeting*)
- D. Discussion/Action on approval of concessionaire contract for Veterans Park (*recommended at 3/12/14 Board of Park Commissioners Meeting*)
- E. Resolution 14-R09, authorizing the decrease of the Designated Fund Balance – EMS Act 102 Program account in the amount of \$10,236.94 (*continued from 3/10/14 Finance, License and Regulation Committee meeting*)
- F. Resolution 14-R22, authorizing a transfer to the General Fund, at year end 2013, an amount of \$275,048.94 from the Lakefront Special Revenue Fund and an amount of \$566,642.69 from the Parking Lots and Meters Special Revenue Fund

- 15. Resolution 14-R23, honoring Dan Thompson for his 25 year tenure with the League of Wisconsin Municipalities

**16. Parking Commission Recommendations – Alderman Hill**

- A. Recommendation to seek requests for proposals for a parking structure to be built on the Cook Street parking lot with aesthetics that fit with the Maple Park Historic District and the Downtown District  
*(recommended at 3/6/14 Parking Commission meeting)*

**17. Presentation of Accounts – Alderman Hill**

- A. Purchase Orders (None)
- B. Prepaid Bills in the amount of \$10,258.07
- C. Regular Bills in the amount of \$1,130,002.60
- D. Acceptance of Monthly Treasurer’s Report for February 2014

**18. Mayoral Appointments – Mayor Connors (none)**

**19. Closed Session**

Motion to go into Closed Session pursuant to Wis. Stat. 19.85 (1)(b) for considering licensing of Arin O’Donnell by a board or commission or the investigation of charges against such person and the taking of formal action on any such matter (Attorney Draper) and pursuant to Wis. State 19.85(1)(e) for deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session (Attorney Draper)

- 20. Motion to return to open session pursuant to Wisconsin Statutes 19.85 (2) and take action on any items discussed in Closed Session

**21. Adjournment**

*Requests from persons with disabilities, who need assistance to participate in this meeting or hearing, should be made to the City Clerk’s office in advance so the appropriate accommodations can be made.*

3/21/14 5:00PM

cc: Aldermen, Mayor, Administrator, Attorney, Department Heads, Media

# CITY OF LAKE GENEVA

## Proclamation

**WHEREAS**, Autism Spectrum Disorder is a complex developmental disability that typically appears during the first three years of life as a result of a neurological disorder that affect the brain; and

**WHEREAS**, Autism Spectrum Disorder affects the normal development of the brain in the area of social interaction and communication skills, and touches as many as one in eighty eight individuals – about nine thousand people in Wisconsin; and

**WHEREAS**, Autism Spectrum Disorder has wide ranging implications for the entire family of the diagnosed individual, and early diagnosis research, professional training, education, and therapies are vital to reducing the effects of autism; and

**WHEREAS**, significant progress has been made in the last thirty years resulting in an improved quality of life for individuals with autism and their families; and

**WHEREAS**, the statewide effort to raise awareness by autism advocates will provide the opportunity to applaud the accomplishments of children and adults with autism, and to educate the public on challenges still being faced;

**NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COMMON COUNCIL OF THE CITY OF LAKE GENEVA**, do hereby proclaim April 2014, as

### **AUTISM AWARENESS MONTH**

throughout the City of Lake Geneva, and I commend this observance to all of our citizens.

**Proclaimed and adopted this 24<sup>th</sup> Day of March, 2014**

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**Jim Connors, Mayor**

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**Timothy Neubeck, City Clerk**





**REGULAR CITY COUNCIL MEETING**  
**MONDAY, MARCH 10, 2014 – 7:00 PM**  
**COUNCIL CHAMBERS, CITY HALL**

**MINUTES**

- 1. Mayor Connors calls the meeting to order at 7:00pm**
- 2. Pledge of Allegiance – Alderman Lyon**
- 3. Roll Call**  
Present: Hougen, Wall, Mott, Hill, Kehoe, Kupsik, Taggart, Lyon  
Also Present: Attorney Draper, Administrator Jordan, Clerk Neubeck
- 4. Awards, Presentations, and Proclamations**  
Mayor Connors explained there is an open house sponsored by the American Transmission Company on Wednesday, March 12, 2014 to display two potential power line routes.  
  
Clerk Neubeck read an announcement about a blood drive taking place at the Lake Geneva Police Department on March 27, 2014.
- 5. Re-consider business from previous meeting**  
None
- 6. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes.**  
Terry O’Neil, 854 George Street, said he would like to know who the donors are as it pertains to Resolution 14-R11 due to perceived preferential treatment.
- 7. Acknowledgement of Correspondence**  
Clerk Neubeck acknowledged a letter from Mrs. Julie Johnson
- 8. Approve Regular City Council Meeting minutes of February 24, 2014, as prepared and distributed**  
**Motion #1:** Alderman Wall moved to approve Regular City Council Meeting minutes of February 24, 2014, as prepared and distributed, Alderman Kehoe seconded, and the motion passed unanimously.
- 9. CONSENT AGENDA.** Any item listed on the consent agenda may be removed at the request of any member of the Council. The request requires no second, is not discussed, and is not voted upon.
  - A.** Original 2013-2014 Operator (Bartender) License applications filed by Jacob Prickett, Michael Heuser, Kevin Dickey, Adam Hale, Joshua Hurst, Aubrey Rauch, Nancy Troia and Morgan Foley
  - B.** “Class B”/Class “B” Temporary Wine and Fermented Malt Beverage License application filed by Sue Tumminello on behalf of the Lake Geneva Symphony Orchestra for the sale of fermented malt beverages and wine at the Riviera Ballroom, 812 Wrigley Drive, Lake Geneva WI for the Lake Geneva Symphony Orchestra City Lights Gala on March 22, 2014, 6:30pm to midnight.

**Motion #2:** Alderman Kupsik moved to approve Original 2013-2014 Operator (Bartender) License applications filed by Jacob Prickett, Michael Heuser, Kevin Dickey, Adam Hale, Joshua Hurst, Aubrey Rauch, Nancy Troia and Morgan Foley as well as a “Class B”/Class “B” Temporary Wine and Fermented Malt Beverage License application filed by Sue Tumminello on behalf of the Lake Geneva Symphony Orchestra for the sale of fermented malt beverages and wine at the Riviera Ballroom, 812 Wrigley Drive, Lake Geneva WI for the Lake Geneva Symphony Orchestra City Lights Gala on March 22, 2014, 6:30pm to midnight, Alderman Hougen seconded, and the motion passed unanimously.

**10. Items removed from the Consent Agenda**

None

**11. Finance, License and Regulation Committee Recommendations – Alderman Hill**

**A. Discussion/Action on a contract with Springsted for a multi-jurisdiction classification/compensation study in conjunction with the Cities of Elkhorn and Delavan**

**Motion #3:** Alderman Hill moved to approve a contract with Springsted for a multi-jurisdiction classification/compensation study in conjunction with the Cities of Elkhorn and Delavan, Alderman Lyon seconded, and the motion passed unanimously.

**B. Discussion/Action on 2014 Riding Mower Replacement bids**

**Motion #4:** Alderman Hill moved to approve the purchase of a 2013 John Deere mower from Proven Power, Inc. for \$45,991 from the City’s equipment replacement fund, and Alderman Mott seconded.

Alderman Hill explained this mower is a priority due to the age of the existing piece of equipment.

**Motion #4** passed unanimously.

**C. Resolution 14-R06, authorizing the elimination of the Designated Fund Balance – PD 1033 Program account in the amount of \$244.00**

**Motion #5:** Alderman Hill moved to approve Resolution 14-R06, authorizing the elimination of the Designated Fund Balance – PD 1033 Program account in the amount of \$244.00, and Alderman Lyon seconded.

Alderman Hill said these Resolutions reflect the accurate amounts in their respective accounts at the end of 2013, and this particular line item will be removed altogether going forward because the State discontinued the program.

**Motion #5** passed unanimously.

**D. Resolution 14-R07, authorizing the increase in the Designated Fund Balance – PD Donations account in the amount of \$50.00**

**Motion #6:** Alderman Hill moved to approve Resolution 14-R07, authorizing the increase in the Designated Fund Balance – PD Donations account in the amount of \$50.00, Alderman Kupsik seconded, and the motion passed unanimously.

**E. Resolution 14-R08, authorizing the decrease in the Designated Fund Balance – PD State Seizures account in the amount of \$2,635.58**

**Motion #7:** Alderman Hill moved to approve Resolution 14-R08, authorizing the decrease in the Designated Fund Balance – PD State Seizures account in the amount of \$2,635.58, Alderman Lyon seconded, and the motion passed unanimously.

**F. Resolution 14-R09, authorizing the decrease of the Designated Fund Balance – EMS Act 102 Program account in the amount of \$10,236.94**

Alderman Hill said the Finance, License and Regulation Committee recommended continuing this item to the next meeting.

**Motion #8:** Alderman Hill moved to continue Resolution 14-R09, authorizing the decrease of the Designated Fund Balance – EMS Act 102 Program account in the amount of \$10,236.94 to the next meeting, Alderman Hougen seconded, and the motion passed unanimously.

**G. Resolution 14-R10, authorizing the increase in the Designated Fund Balance – Fire CPR Revenue account in the amount of \$1,795.68**

**Motion #9:** Alderman Hill moved to approve Resolution 14-R10, authorizing the increase in the Designated Fund Balance – Fire CPR Revenue account in the amount of \$1,795.68, Alderman Kupsik, and the motion passed unanimously.

**H. Resolution 14-R11, authorizing the increase in the Designated Fund Balance – Fire Donations account by \$6,170.00**

**Motion #10:** Alderman Hill moved to approve Resolution 14-R11, authorizing the increase in the Designated Fund Balance – Fire Donations account by \$6,170.00, and Alderman Wall seconded.

Alderman Hougen said he agrees with Mr. O’Neil’s comment earlier, and he suggests not accepting donations in the future.

Alderman Lyon asked if donated funds have any implied uses.

Administrator Jordan replied some do with an example of a resident donating money for a particular piece of equipment.

Mayor Connors explained the Police and Fire Commission votes whether or not to accept certain donations, and he suggested Alderman Lyon pass along this concern to the Police and Fire Commission.

**Motion #10** passed unanimously.

**I. Resolution 14-R12, authorizing the carryforward of the Police and Fire 2013 capital project budget balances totaling \$15,525.00**

**Motion #11:** Alderman Hill moved to approve Resolution 14-R12, authorizing the carryforward of the Police and Fire 2013 capital project budget balances totaling \$15,525.00, Alderman Kehoe seconded, and the motion passed unanimously.

**J. Resolution 14-R13, authorizing the decrease in the Designated Fund Balance – PD Uniform Allowance in the amount of \$671.63**

**Motion #12:** Alderman Hill moved to approve Resolution 14-R13, authorizing the decrease in the Designated Fund Balance – PD Uniform Allowance in the amount of \$671.63, Alderman Wall seconded, and the motion passed unanimously.

**K. Resolution 14-R14, authorizing the carryforward of the 2013 capital project budget balances in the amount of \$79,513.00**

**Motion #13:** Alderman Hill moved to approve Resolution 14-R14, authorizing the carryforward of the 2013 capital project budget balances in the amount of \$79,513.00, Alderman Lyon seconded, and the motion passed unanimously.

**12. Presentation of Accounts – Alderman Hill**

**A. Purchase Orders (None)**

**B. Prepaid Bills in the amount of \$36,616.76**

**Motion #14:** Alderman Hill moved to approve Prepaid Bills in the amount of \$36,616.76, Alderman Kupsik seconded, and the motion passed unanimously.

**C. Regular Bills in the amount of \$206,338.98**

Alderman Hill read off items over \$5,000.

**Motion #15:** Alderman Hill moved to approve Regular Bills in the amount of \$206,338.98, Alderman Lyon seconded, and the motion passed unanimously.

**D. Acceptance of Monthly Treasurer's Report for December 2013 and January 2014**

**Motion #16:** Alderman Hill moved to accept the Monthly Treasurer's Reports for December 2013 and January 2014, Alderman Wall seconded, and the motion passed unanimously.

**13. Mayoral Appointments – Mayor Connors (none)**

Alderman Hougen announced he is moving from Lake Geneva on March 21<sup>st</sup> and is resigning as an alderman on that date. He thanked the Alderpersons, Mayor, Attorney, and staff.

Mayor Connors thanked Alderman Hougen as well for his viewpoints and service to the City.

**14. Closed Session**

Motion to go into Closed Session pursuant to Wis. Stat. 19.85 (1)(b) for considering licensing of Arin O'Donnell by a board or commission or the investigation of charges against such person and the taking of formal action on any such matter (Attorney Draper) and pursuant to Wis. Stat. 19.85 (1)(e) for competitive bargaining reasons for Fire union negotiations (Administrator Jordan)

Mayor Connors announced Ms. O'Donnell was unable to attend.

**Motion #17:** Alderman Hill moved to continue the consideration of licensing of Arin O'Donnell to the next meeting, Alderman Kupsik seconded, and the motion passed unanimously.

**Motion #18:** Alderman Kupsik moved to go into Closed Session pursuant to Wis. Stat. 19.85 (1)(e) for competitive bargaining reasons for Fire union negotiations, Alderman Taggart seconded, and the motion passed unanimously.

The meeting went into Closed Session at 7:32pm.

**15. Motion to return to open session pursuant to Wisconsin Statutes 19.85 (2) and take action on any items discussed in Closed Session**

**Motion #19:** Alderman Taggart moved to return to open session pursuant to Wisconsin Statutes 19.85 (2) and take action on any items discussed in Closed Session, Alderman Lyon seconded, and the motion passed unanimously.

The meeting returned to open session at 7:55pm.

**Motion #20:** Alderman Hill moved to direct staff to proceed to arbitration with terms discussed in Closed Session, Alderman Kupsik seconded, and the motion passed 7-1 with Alderman Wall abstaining.

**16. Adjournment**

**Motion #21:** Alderman Mott moved to adjourn, Alderman Lyon seconded, and the motion passed unanimously.

The meeting adjourned at 7:57pm.

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Tim Neubeck, City Clerk.

**THESE ARE NOT OFFICIAL MINUTES UNTIL APPROVED BY THE COMMON COUNCIL**

# City of Lake Geneva

Licenses Issued between 3/24/2014 and 3/24/2014

## Operator's Regular

<u>Issued</u>	<u>License No</u>	<u>Customer</u>	<u>Address</u>		<u>Total</u>
3/24/2014	2013- 335	Gail M. Rempert Employer: Waigreen's #5600	W1339 N. Bloomfield 351 N. Edwards Blvd.	Lake Geneva, WI 53147	30.00
3/24/2014	2013- 336	Renee M. Hildebrandt Employer: Geneva Lakes Convenience Corp.	W1038 Aralia Rd Clark Station	Genoa City, WI 53147	30.00
3/24/2014	2013- 337	Breana E. Smith Employer: Salami Sam's Deli And Market	481 Garrison Dr See Fischer's On Button B	Lake Geneva, WI 53147	30.00
3/24/2014	2013- 333	Jill E. Deicorps Employer: Sprecher's Restaurant & Pub	12015 336th Ave. Capitol Geneva LLC	Lake Geneva, WI 53147	30.00
3/24/2014	2013- 334	Kimberly A. Diekow Employer: Two Thumbs Up LLC	532 W. State Street D/B/A Thumbs Up	Lake Geneva, WI 53147	30.00

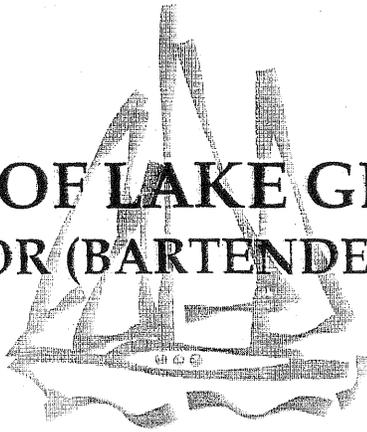
## Operator's Regular

Count: 5

Totals for this Type:

150.00

# CITY OF LAKE GENEVA OPERATOR (BARTENDER) LICENSE



No tickets

2013-533

Please Check:

- Original Application  
 Renewal of Current License

PLEASE FILL IN ALL BLANKS COMPLETELY, AS INCOMPLETE APPLICATIONS WILL BE REJECTED. ANNUAL LICENSE EXPIRES JUNE 30<sup>TH</sup> EACH YEAR. FEE OF \$50.00 IS DUE UPON APPLICATION.

### APPLICANT INFORMATION

Name: Delcomps Jill Elaine  
Last First Middle

Maiden Name: \_\_\_\_\_ Date of Birth: \_\_\_\_\_

Address (Physical): 12015 336th Ave

Mailing Address (if different): \_\_\_\_\_

City, State, Zip: Twin Lakes WI 53181

Phone: 262-206-3317

Drivers License #: \_\_\_\_\_

### BUSINESS WHERE LICENSEE WILL BE EMPLOYED

Business Name: Sprechers Brew Pub

Address: 111 Center St. Lake Geneva WI

### PLEASE ANSWER THE FOLLOWING QUESTIONS COMPLETELY

1. Is this an Original License or a Renewal License for the City of Lake Geneva?

ORIGINAL

RENEWAL

If this is an Original License, you must attach your certificate of completion of the Responsible Beverage Servers Course.

2. Have you ever had an Operator (Bartender) License?

YES

NO

If Yes, please state where: Hawk's View Golf Club

3. Have you ever been convicted of a violation of any law or ordinance pertaining to the sale of beer or intoxicating liquors in Wisconsin or in any other state?

YES

NO

If Yes, please provide charge, date and disposition: \_\_\_\_\_

4. Have you ever been convicted of a felony in Wisconsin or in any other state?

YES

NO

If Yes, please provide charge, date and disposition: \_\_\_\_\_

I hereby agree to display and/or surrender my operator's license to any police officer or any official of the City of Lake Geneva or the State of Wisconsin for verification while I am working and further agree to abide by the State Statutes and local ordinances governing the sale of beer and intoxicating liquors. I hereby acknowledge being given and having read a copy of Wis. Stat. 125.32 (2) and (3). Under penalty of law, I swear that the information provided in this application is true and correct to the best of my knowledge and belief.

APPLICANT SIGNATURE

Gill Dulcepp DATE: 3/4/14

*For Office Use Only*

Date Filed:	<u>C140304-16</u>
Receipt No:	<u>3-4-14</u>
Total Amount:	<u>30.00</u>
Forwarded to Police Chief:	<u>3-4-14</u>
Background Completed:	<u>_____</u>
Recommendation:	<u>_____</u> <u>Approved</u> Denied
FLR Approval:	_____ License Issued: _____
Council Approval:	_____ License Number: _____
MAIL TO:	Individual Establishment

70 tickets

2013-324

# CITY OF LAKE GENEVA OPERATOR (BARTENDER) LICENSE



Please Check:

Original Application

Renewal of Current License

PLEASE FILL IN ALL BLANKS COMPLETELY, AS INCOMPLETE APPLICATIONS WILL BE REJECTED.  
ANNUAL LICENSE EXPIRES JUNE 30<sup>TH</sup> EACH YEAR.  
FEE OF \$50.00 IS DUE UPON APPLICATION.

### APPLICANT INFORMATION

Name: Diekow Kimberly Ann  
Last First Middle

Maiden Name: \_\_\_\_\_ Date of Birth: \_\_\_\_\_

Address (Physical): 532 W. State Street

Mailing Address (if different): "

City, State, Zip: Burlington WI 53105

Phone: \_\_\_\_\_

Drivers License #: \_\_\_\_\_

### BUSINESS WHERE LICENSEE WILL BE EMPLOYED

Business Name: Thumbs Up

Address: Broad Street Lake Geneva WI

### PLEASE ANSWER THE FOLLOWING QUESTIONS COMPLETELY

1. Is this an Original License or a Renewal License for the City of Lake Geneva?  
 ORIGINAL  RENEWAL

*If this is an Original License, you must attach your certificate of completion of the Responsible Beverage Servers Course.*

2. Have you ever had an Operator (Bartender) License?  YES  NO  
 If Yes, please state where: Wisconsin

3. Have you ever been convicted of a violation of any law or ordinance pertaining to the sale of beer or intoxicating liquors in Wisconsin or in any other state?

YES

NO

If Yes, please provide charge, date and disposition: \_\_\_\_\_

4. Have you ever been convicted of a felony in Wisconsin or in any other state?

YES

NO

If Yes, please provide charge, date and disposition: \_\_\_\_\_

I hereby agree to display and/or surrender my operator's license to any police officer or any official of the City of Lake Geneva or the State of Wisconsin for verification while I am working and further agree to abide by the State Statutes and local ordinances governing the sale of beer and intoxicating liquors. I hereby acknowledge being given and having read a copy of Wis. Stat. 125.32 (2) and (3). Under penalty of law, I swear that the information provided in this application is true and correct to the best of my knowledge and belief.

APPLICANT SIGNATURE

*[Handwritten Signature]*

DATE:

3/10/14

*For Office Use Only*

Date Filed: 3/10/14

Receipt No: 5140310-4

Total Amount: \$30.00

Forwarded to Police Chief: 3-10-14

Background Completed: 3-11-14

Recommendation:

Approved

Denied

FLR Approval: \_\_\_\_\_

License Issued: \_\_\_\_\_

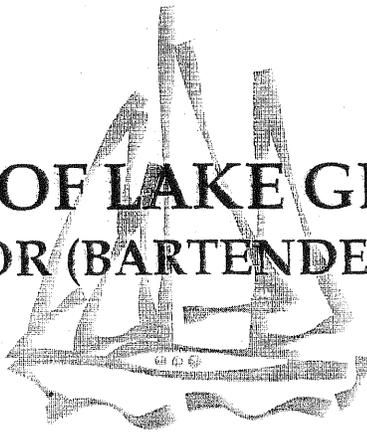
Council Approval: \_\_\_\_\_

License Number: \_\_\_\_\_

MAIL TO: Individual

Establishment

# CITY OF LAKE GENEVA OPERATOR (BARTENDER) LICENSE



No tickets

#2013-335

Please Check:



Original Application



Renewal of Current License

PLEASE FILL IN ALL BLANKS COMPLETELY, AS INCOMPLETE APPLICATIONS WILL BE REJECTED. ANNUAL LICENSE EXPIRES JUNE 30<sup>TH</sup> EACH YEAR. FEE OF \$50.00 IS DUE UPON APPLICATION.

## APPLICANT INFORMATION

Name: Rempert Gail M  
Last First Middle

Maiden Name: Konopka Date of Birth: \_\_\_\_\_

Address (Physical): W1339 N Bloomfield

Mailing Address (if different): \_\_\_\_\_

City, State, Zip: Lake Geneva WI 53147

Phone: \_\_\_\_\_

Drivers License #: \_\_\_\_\_

## BUSINESS WHERE LICENSEE WILL BE EMPLOYED

Business Name: Walgreens

Address: Edwards Blvd.

## PLEASE ANSWER THE FOLLOWING QUESTIONS COMPLETELY

1. Is this an Original License or a Renewal License for the City of Lake Geneva?

ORIGINAL

RENEWAL

*If this is an Original License, you must attach your certificate of completion of the Responsible Beverage Servers Course.*

2. Have you ever had an Operator (Bartender) License?

YES

NO

If Yes, please state where: \_\_\_\_\_

3. Have you ever been convicted of a violation of any law or ordinance pertaining to the sale of beer or intoxicating liquors in Wisconsin or in any other state?

YES  NO

If Yes, please provide charge, date and disposition: \_\_\_\_\_

4. Have you ever been convicted of a felony in Wisconsin or in any other state?

YES  NO

If Yes, please provide charge, date and disposition: \_\_\_\_\_

I hereby agree to display and/or surrender my operator's license to any police officer or any official of the City of Lake Geneva or the State of Wisconsin for verification while I am working and further agree to abide by the State Statutes and local ordinances governing the sale of beer and intoxicating liquors. I hereby acknowledge being given and having read a copy of Wis. Stat. 125.32 (2) and (3). Under penalty of law, I swear that the information provided in this application is true and correct to the best of my knowledge and belief.

APPLICANT SIGNATURE

Mai Rempert DATE: 3/12/14

For Office Use Only

Date Filed: 3-12-14  
 Receipt No: \_\_\_\_\_  
 Total Amount: \$ 30.00  
 Forwarded to Police Chief: 3-12-14  
 Background Completed: 3-12-14 BB  
 Recommendation: ✓  Approved  Denied  
 FLR Approval: \_\_\_\_\_ License Issued: \_\_\_\_\_  
 Council Approval: \_\_\_\_\_ License Number: \_\_\_\_\_  
 MAIL TO: Individual  
 Establishment

# CITY OF LAKE GENEVA OPERATOR (BARTENDER) LICENSE

No tickets  
2013-336



Please Check:

Original Application

Renewal of Current License

PLEASE FILL IN ALL BLANKS COMPLETELY, AS INCOMPLETE APPLICATIONS WILL BE REJECTED. ANNUAL LICENSE EXPIRES JUNE 30<sup>TH</sup> EACH YEAR. FEE OF \$50.00 IS DUE UPON APPLICATION.

### APPLICANT INFORMATION

Name: Hildebrandt Renee M.  
Last First Middle

Maiden Name: \_\_\_\_\_ Date of Birth: \_\_\_\_\_

Address (Physical): W1038 Aerial Rd

Mailing Address (if different): \_\_\_\_\_

City, State, Zip: Geneva City WI 53128

Phone: \_\_\_\_\_

Drivers License #: \_\_\_\_\_

### BUSINESS WHERE LICENSEE WILL BE EMPLOYED

Business Name: Geneva Lakes Conv.

Address: 728 Williams St. Lake Geneva, WI 53147

### PLEASE ANSWER THE FOLLOWING QUESTIONS COMPLETELY

1. Is this an Original License or a Renewal License for the City of Lake Geneva?

ORIGINAL  RENEWAL

*If this is an Original License, you must attach your certificate of completion of the Responsible Beverage Servers Course.*

2. Have you ever had an Operator (Bartender) License?  YES  NO

If Yes, please state where: \_\_\_\_\_

3. Have you ever been convicted of a violation of any law or ordinance pertaining to the sale of beer or intoxicating liquors in Wisconsin or in any other state?

YES  NO

If Yes, please provide charge, date and disposition: \_\_\_\_\_

4. Have you ever been convicted of a felony in Wisconsin or in any other state?

YES  NO

If Yes, please provide charge, date and disposition: \_\_\_\_\_

I hereby agree to display and/or surrender my operator's license to any police officer or any official of the City of Lake Geneva or the State of Wisconsin for verification while I am working and further agree to abide by the State Statutes and local ordinances governing the sale of beer and intoxicating liquors. I hereby acknowledge being given and having read a copy of Wis. Stat. 125.32 (2) and (3). Under penalty of law, I swear that the information provided in this application is true and correct to the best of my knowledge and belief.

APPLICANT SIGNATURE

Renee Helebrand

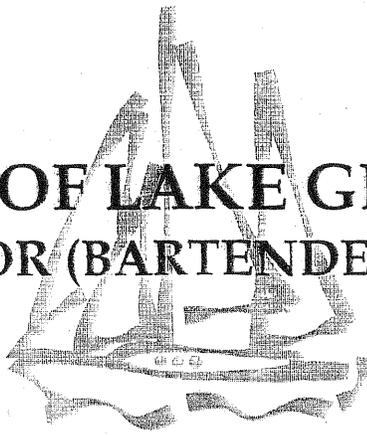
DATE: 3/11/14

*For Office Use Only*

Date Filed: 3-14-14  
Receipt No: \_\_\_\_\_  
Total Amount: \$ 30.00  
(+ \$15 PROV)  
Forwarded to Police Chief: 3-14-14  
Background Completed: \_\_\_\_\_  
Recommendation: \_\_\_\_\_ Approved Denied  
FLR Approval: \_\_\_\_\_ License Issued: \_\_\_\_\_  
Council Approval: \_\_\_\_\_ License Number: \_\_\_\_\_  
MAIL TO: Individual  
Establishment

No tickets  
2013-337

# CITY OF LAKE GENEVA OPERATOR (BARTENDER) LICENSE



Please Check:

- Original Application
- Renewal of Current License

PLEASE FILL IN ALL BLANKS COMPLETELY, AS INCOMPLETE APPLICATIONS WILL BE REJECTED. ANNUAL LICENSE EXPIRES JUNE 30<sup>TH</sup> EACH YEAR. FEE OF \$50.00 IS DUE UPON APPLICATION.

### APPLICANT INFORMATION

Name: Smith Breana Eve  
Last First Middle

Maiden Name: Smith Date of Birth: \_\_\_\_\_

Address (Physical): 481 Garrison Dr

Mailing Address (if different): \_\_\_\_\_

City, State, Zip: Lake Geneva WI 53147

Phone: \_\_\_\_\_

Drivers License #: \_\_\_\_\_

### BUSINESS WHERE LICENSEE WILL BE EMPLOYED

Business Name: Salami Sam's Deli & Market

Address: 880 W Main St Lake Geneva WI 53147

### PLEASE ANSWER THE FOLLOWING QUESTIONS COMPLETELY

1. Is this an Original License or a Renewal License for the City of Lake Geneva?

ORIGINAL RENEWAL

*If this is an Original License, you must attach your certificate of completion of the Responsible Beverage Servers Course.*

2. Have you ever had an Operator (Bartender) License? YES NO

If Yes, please state where: \_\_\_\_\_

3. Have you ever been convicted of a violation of any law or ordinance pertaining to the sale of beer or intoxicating liquors in Wisconsin or in any other state?

YES

NO

If Yes, please provide charge, date and disposition: \_\_\_\_\_

4. Have you ever been convicted of a felony in Wisconsin or in any other state?

YES

NO

If Yes, please provide charge, date and disposition: \_\_\_\_\_

I hereby agree to display and/or surrender my operator's license to any police officer or any official of the City of Lake Geneva or the State of Wisconsin for verification while I am working and further agree to abide by the State Statutes and local ordinances governing the sale of beer and intoxicating liquors. I hereby acknowledge being given and having read a copy of Wis. Stat. 125.32 (2) and (3). Under penalty of law, I swear that the information provided in this application is true and correct to the best of my knowledge and belief.

APPLICANT SIGNATURE

Breanna Smith

DATE: 3/17/14

*For Office Use Only*

Date Filed: 3-17-14

Receipt No: \_\_\_\_\_

Total Amount: \$ 30.00  
(+ 15.00 FRCV.)

Forwarded to Police Chief: 3-18-14

Background Completed: FB

Recommendation: 4  Approved  Denied

FLR Approval: \_\_\_\_\_

License Issued: \_\_\_\_\_

Council Approval: \_\_\_\_\_

License Number: \_\_\_\_\_

MAIL TO: Individual  
Establishment



# CITY OF LAKE GENEVA

## EVENT PERMIT APPLICATION

PLEASE FILL IN ALL BLANKS COMPLETELY, AS INCOMPLETE APPLICATIONS WILL BE REJECTED. APPLICATIONS FOR STREET USE AND/OR PARK PERMITS SHALL BE SUBMITTED AT LEAST 10 WEEKS PRIOR TO THE PROPOSED EVENT DATE(S).

### Section I - What type of Permit(s) will your event require?

- Parade & Public Assembly Permit.** Required for any public gathering or parade on public property.
- If the event is a parade, please attach a map or description of the requested route to be traveled.
- Street Use Permit.** Required for any event using a public street. Per Sec. 62-243 of the municipal code, this application must include the following attachments:
- Certificate of Comprehensive General Liability Insurance with the City, its employees and agents as additional insured with coverage for contractual liability with minimum limits of \$500,000 per occurrence for bodily injury and property damage limits of \$250,000 per occurrence.
  - Petition signed by more than half of the residential dwelling units and/or commercial units residing along that portion of the street designated for the proposed use or whose property is denied access by virtue of the granting of the permit.
- Park Reservation Permit.** Required for reserving the use of a park facility or shelter. Please see the Parks Information Packet for more information about available parks and their amenities, park use policies and application procedures.

### Section II - Applicant Information

1. Date of Application: 2/202/2014
2. Applicant Name: SEAN PAYNE
3. Organization Name: LAKE GENEVA FARMER'S MARKET @ HORTICULTURAL HALL
4. Organization Type:  For Profit  Non-Profit (501(c)\_\_\_\_) Tax ID: \_\_\_\_\_
5. Mailing Address: P.O. BOX 71
6. City, State, Zip: LAKE GENEVA, WI. 53147
7. Phone: 262-248-4382 E-mail: MARKET@HORTICULTURALHALL.COM
8. Applicant's Drivers License #: P500-7956-6087-02 State license issued: WI
9. Event Chair/Contact Person: SEAN PAYNE Phone: 262-745-9341
10. Day of Event Contact Name: SEAN PAYNE Phone: 262-745-9341

Section III - Event Information

1. Title of Event: LAKE GENEVA FAMERS MARKET

2. Date(s) of Event: MAY 8TH - OCT. 30TH 2014

3. Location(s) of Event: HORTICULTURAL HALL

4. Hours: 6:00 AM 1:30 PM  
Start Time End Time

5. Is the event open to the public?  Yes  No

6. Will you charge an admission fee?  Yes  No

7. Estimated Attendance Number: 130

8. Basis for Estimate: NUMBERS FROM THE LAST 17 YEARS

9. Will there be any animals?  Yes  No  
If yes, what type and how many: \_\_\_\_\_

10. Detailed description of proposed event (attach additional pages, if necessary):  
A PLACE FOR VENDORS TO SELL VEGETABLES, FRUITS, SOAPS, FLOWERS, JEWELRY ECT.....

11. Description of plan for handling refuse collection and after-event clean-up:  
WE CLEAN UP OUR OWN.

12. Description of plan for providing event security (if applicable):  
N/A

13. Will there be fireworks or pyrotechnics at your event?  Yes  No  
*If yes, please attach a fireworks display permit or application.*
14. Will your event include the sale of beer and/or wine?  Yes  No  
*If yes, please attach a completed Temporary Alcohol License Application.*
15. Will you or any other vendors be selling food or merchandise?  Yes  No  
*If yes, please attach list of proposed vendors, including business name and type of food/merchandise sold.*

**Section IV - Street Use**

Check if this section does not apply.

1. Description of the portion(s) of road(s) to be used:  
 THE ALLEY IN BETWEEN THE EPISCOPAL CHURCH AND THE HORTICULTURAL HALL. OFF OF BROAD ST.

2. Will any parking stalls be used or blocked during the event?  Yes  No

If yes, where and how many:

WE WOULD REQUEST THAT THERE BE FREE PARKING IN FRONT OF HORTICULTURAL HALL, FROM WISCONSIN ST. TO THE ALLEY, ALL OF THE SPOTS DIRECTLY IN FRONT OF THE HALL.

3. Description of signage to be used during event:

HAND PAINTED BOARDS

**Section V- Fees**

Application and Permit Fees	Unit Fee	Applicable Fee
<b>Parade &amp; Public Assembly Permit</b>	\$0.00 (No Fee)	
<b>Street Use Permit</b>		
Application Fee - Events lasting 2 days or less	\$40.00	_____
Application Fee - Events lasting more than 2 days	\$100.00	\$100.00
Parking stall use/blockage fee (per stall, per day)	\$10.00	_____
<b>Park Reservation Permit</b>		
Application Fee	\$25.00	_____
Security Deposit		
Non-Profit or Resident		
49 Attendees or Less	\$50.00	_____
50-149 Attendees	\$100.00	_____
150 or more Attendees	Determined by Park Board	_____
Non-Resident		
49 Attendees or Less	\$100.00	_____
50-149 Attendees	\$150.00	_____
150 or more Attendees	Determined by Park Board	_____
<b>Park Reservation Fees</b>		
Non-Profit or Resident		
49 Attendees or Less	\$30.00	_____
50-149 Attendees	\$55.00	_____
150 or more Attendees	\$105.00	_____
Non-Resident		
49 Attendees or Less	\$75.00	_____
50-149 Attendees	\$125.00	_____
150 or more Attendees	\$225.00	_____
<b>Subtotal: \$</b>		100.00

**Additional Equipment Requested**

List any additional equipment requested. Please see the Parks Information Packet for amenities that are provided in each park at no charge. **Requests for equipment are subject to availability.**

Equipment (with delivery)	Deposit/Rental Fee	# Units Requested	Applicable Fee
Benches/10 per unit	\$50.00 deposit, \$30.00 per unit	_____	_____
Picnic tables/5 per unit	\$50.00 deposit, \$75.00 per unit	_____	_____
Barricades/10 per unit	\$30.00 per unit	_____	_____
Fencing - Snow	\$30.00 per 50 feet	_____	_____
Trash Receptacles/5 per unit	\$50.00 deposit, \$30.00 per unit	_____	_____
<b>Subtotal: \$</b>			_____

**Total due with application: \$** 100.00

*Accepted by cash or checks (payable to the City of Lake Geneva)*

**Other Anticipated Services**

Please indicate below any additional services you are requesting for your event. Estimated Fees or Deposits for these services may be required prior to issuance of permit(s).

- Electricity Explain: \_\_\_\_\_
- Water Explain: \_\_\_\_\_
- Traffic Control Explain: \_\_\_\_\_
- Police Services Explain: \_\_\_\_\_
- Fire/EMS Services Explain: \_\_\_\_\_
- Other Explain: \_\_\_\_\_

**Section VI - Signature of Applicant**

"The information provided in this application is true and correct to the best of my knowledge and belief. I understand that cancellation of any event, for any reason, shall result in the forfeiture of permit fees. I understand that application fees are not refunded in the event the application is not approved. I understand that in addition to the schedule of fees, if any additional City services are requested or determined to be impacted, an additional fee will be charged for those services. I agree to comply with all applicable state, federal and municipal regulations and ordinances."

APPLICANT SIGNATURE: \_\_\_\_\_

DATE: 2/20/2014

*For Office Use Only*

Date Filed with Clerk: 3-3-14 Payment with application: \$ 100.00 Receipt: C14 0303-8

Departmental review (all that apply):

- Police Chief:  Approved  Denied Signed: \_\_\_\_\_  
Additional services needed: \_\_\_\_\_  
Additional fees or deposit: \_\_\_\_\_
- Fire Chief:  Approved  Denied Signed: \_\_\_\_\_  
Additional services needed: \_\_\_\_\_  
Additional fees or deposit: \_\_\_\_\_
- Street Dept.:  Approved  Denied Signed: \_\_\_\_\_ (SEE BELOW)  
Additional services needed: \_\_\_\_\_  
Additional fees or deposit: \_\_\_\_\_

Committee/Council review (all that apply):

- Park Board: Meeting Date(s): \_\_\_\_\_  Approved  Denied  
Reasons/Conditions: \_\_\_\_\_
- Finance, License Regulation: Meeting Date(s): 3-24-14  Approved  Denied  
Reasons/Conditions: \_\_\_\_\_
- Council: Meeting Date(s): 3-24-14  Approved  Denied  
Reasons/Conditions: \_\_\_\_\_

Clerk's Office Completion:

Total Add'l fee/deposit to be collected: \$ \_\_\_\_\_ Receipt # \_\_\_\_\_  
 Permit(s) issued:  Parade/PA  Street Use  Park Permit  
 Date of issue: \_\_\_\_\_ Deposit Returned: \$ \_\_\_\_\_ Deposit withheld: \$ \_\_\_\_\_  
 Reason withheld: \_\_\_\_\_

**\* IF STREET LIGHTING CONTRACTOR REQUIRES SPACES FOR NEW LIGHTING SYSTEM, STREET LIGHTING CONTRACTOR TAKES PRIORITY OVER PARK PRODUCT PARKING**



# CITY OF LAKE GENEVA EVENT PERMIT APPLICATION

PLEASE FILL IN ALL BLANKS COMPLETELY, AS INCOMPLETE APPLICATIONS WILL BE REJECTED. APPLICATIONS FOR STREET USE AND/OR PARK PERMITS SHALL BE SUBMITTED AT LEAST 10 WEEKS PRIOR TO THE PROPOSED EVENT DATE(S).

## Section I - What type of Permit(s) will your event require?

- Parade & Public Assembly Permit.** Required for any public gathering or parade on public property.
- If the event is a parade, please attach a map or description of the requested route to be traveled.
- Street Use Permit.** Required for any event using a public street. Per Sec. 62-243 of the municipal code, this application must include the following attachments:
- Certificate of Comprehensive General Liability Insurance with the City, its employees and agents as additional insured with coverage for contractual liability with minimum limits of \$500,000 per occurrence for bodily injury and property damage limits of \$250,000 per occurrence.
  - Petition signed by more than half of the residential dwelling units and/or commercial units residing along that portion of the street designated for the proposed use or whose property is denied access by virtue of the granting of the permit.
- Park Reservation Permit.** Required for reserving the use of a park facility or shelter. Please see the Parks Information Packet for more information about available parks and their amenities, park use policies and application procedures.

## Section II - Applicant Information

1. Date of Application: Jan. 30, 2014
2. Applicant Name: Ryan Lasch
3. Organization Name: The Lake Geneva Jaycees
4. Organization Type:  For Profit  Non-Profit (501(c) 4) Tax ID: 39-1230293
5. Mailing Address: 615 Center St ~~Dorset St~~
6. City, State, Zip: Lake Geneva, WI, 53147
7. Phone: (262) 749-6332 E-mail: rclasch@mac.com
8. Applicant's Drivers License #: L200-7238-6456-07 State license issued: WI
9. Event Chair/Contact Person: Ryan Lasch Phone: (262) 749-6332
10. Day of Event Contact Name: Ryan Lasch Phone: (262) 749-6332

Section III - Event Information

1. Title of Event: Jaycees Easter Egg Hunt

2. Date(s) of Event: April 19, 2014

3. Location(s) of Event: Seminary Park

4. Hours: 9:00 1:00  
Start Time End Time

5. Is the event open to the public?  Yes  No

6. Will you charge an admission fee?  Yes  No

7. Estimated Attendance Number: 500 +

8. Basis for Estimate: Attendance from previous years

9. Will there be any animals?  Yes  No  
If yes, what type and how many: \_\_\_\_\_

10. Detailed description of proposed event (attach additional pages, if necessary):  
We will tape off 4 sections for the different age groups to hunt for eggs. The hunt starts @ 10:30 and is usually over by 10:45. After the hunt there will be a raffle where we give away Easter Baskets to the kids. The event is usually over by 12:00 pm.

11. Description of plan for handling refuse collection and after-event clean-up:  
All Jaycees members clean and pick up the park when the hunt is over. We make sure the park is as clean as before we started.

12. Description of plan for providing event security (if applicable):

13. Will there be fireworks or pyrotechnics at your event?  Yes  No  
*If yes, please attach a fireworks display permit or application.*
14. Will your event include the sale of beer and/or wine?  Yes  No  
*If yes, please attach a completed Temporary Alcohol License Application.*
15. Will you or any other vendors be selling food or merchandise?  Yes  No  
*If yes, please attach list of proposed vendors, including business name and type of food/merchandise sold.*

**Section IV - Street Use**

Check if this section does not apply.

1. Description of the portion(s) of road(s) to be used:

2. Will any parking stalls be used or blocked during the event?  Yes  No

If yes, where and how many:

3. Description of signage to be used during event:

**Section V- Fees**

Application and Permit Fees	Unit Fee	Applicable Fee
<b>Parade &amp; Public Assembly Permit</b>	\$0.00 (No Fee)	
<b>Street Use Permit</b>		
Application Fee - Events lasting 2 days or less	\$40.00	_____
Application Fee - Events lasting more than 2 days	\$100.00	_____
Parking stall use/blockage fee (per stall, per day)	\$10.00	_____
<b>Park Reservation Permit</b>		
Application Fee	\$25.00	<u>\$25.00</u>
Security Deposit		
Non-Profit or Resident		
49 Attendees or Less	\$50.00	_____
50-149 Attendees	\$100.00	_____
150 or more Attendees	Determined by Park Board	_____
Non-Resident		
49 Attendees or Less	\$100.00	_____
50-149 Attendees	\$150.00	_____
150 or more Attendees	Determined by Park Board	_____
<b>Park Reservation Fees</b>		
Non-Profit or Resident		
49 Attendees or Less	\$30.00	_____
50-149 Attendees	\$55.00	_____
150 or more Attendees	\$105.00	_____
Non-Resident		
49 Attendees or Less	\$75.00	_____
50-149 Attendees	\$125.00	_____
150 or more Attendees	\$225.00	_____
<b>Subtotal: \$</b>		<u>\$25.00</u>

**Additional Equipment Requested**

List any additional equipment requested. Please see the Parks Information Packet for amenities that are provided in each park at no charge. Requests for equipment are subject to availability.

Equipment (with delivery)	Deposit/Rental Fee	# Units Requested	Applicable Fee
Benches/10 per unit	\$50.00 deposit, \$30.00 per unit	_____	_____
Picnic tables/5 per unit	\$50.00 deposit, \$75.00 per unit	_____	_____
Barricades/10 per unit	\$30.00 per unit	_____	_____
Fencing - Snow	\$30.00 per 50 feet	_____	_____
Trash Receptacles/5 per unit	\$50.00 deposit, \$30.00 per unit	_____	_____
<b>Subtotal: \$</b>			_____

**Total due with application: \$** \_\_\_\_\_

Accepted by cash or checks (payable to the City of Lake Geneva)

**Other Anticipated Services**

Please indicate below any additional services you are requesting for your event. Estimated Fees or Deposits for these services may be required prior to issuance of permit(s).

- Electricity Explain: Electricity at the Pavilion for P.A. System
  - Water Explain: Working Bathrooms at the Park
  - Traffic Control Explain: \_\_\_\_\_
  - Police Services Explain: Officer to sound siren to start each age group
  - Fire/EMS Services Explain: \_\_\_\_\_
  - Other Explain: \_\_\_\_\_
- of the Hunt*

**Section VI - Signature of Applicant**

"The information provided in this application is true and correct to the best of my knowledge and belief. I understand that cancellation of any event, for any reason, shall result in the forfeiture of permit fees. I understand that application fees are not refunded in the event the application is not approved. I understand that in addition to the schedule of fees, if any additional City services are requested or determined to be impacted, an additional fee will be charged for those services. I agree to comply with all applicable state, federal and municipal regulations and ordinances."

**APPLICANT SIGNATURE:**

\_\_\_\_\_ DATE: \_\_\_\_\_

*For Office Use Only*

Date Filed with Clerk: 1-30-14 Payment with application: \$ \$25.00 Receipt: C140130-18

**Departmental review (all that apply):**

- Police Chief:  Approved  Denied Signed: [Signature]  
 Additional services needed: \_\_\_\_\_  
 Additional fees or deposit: \_\_\_\_\_
- Fire Chief:  Approved  Denied Signed: \_\_\_\_\_  
 Additional services needed: \_\_\_\_\_  
 Additional fees or deposit: \_\_\_\_\_
- Street Dept.:  Approved  Denied Signed: \_\_\_\_\_  
 Additional services needed: \_\_\_\_\_  
 Additional fees or deposit: \_\_\_\_\_

**Committee/Council review (all that apply):**

- Park Board: Meeting Date(s): 3-12-14  Approved  Denied  
 Reasons/Conditions: [Signature]
- Finance, License Regulation: Meeting Date(s): \_\_\_\_\_  Approved  Denied  
 Reasons/Conditions: \_\_\_\_\_
- Council: Meeting Date(s): \_\_\_\_\_  Approved  Denied  
 Reasons/Conditions: \_\_\_\_\_

**Clerk's Office Completion:**

Total Add'l fee/deposit to be collected: \$ \_\_\_\_\_ Receipt # \_\_\_\_\_  
 Permit(s) issued:  Parade/PA  Street Use  Park Permit  
 Date of issue: \_\_\_\_\_ Deposit Returned: \$ \_\_\_\_\_ Deposit withheld: \$ \_\_\_\_\_  
 Reason withheld: \_\_\_\_\_

January 30, 2014

Ryan Lasch  
615 Center St.  
Lake Geneva WI, 53147  
1-(262)-749-6332

ATTENTION: Board of Park Commissioners

To Whom it May Concern

I write to ask you to support the Lake Geneva Jaycees this year with a donation to our annual Easter Egg Hunt which will be held on March 30 this year. Each year, our organization provides a fun filled event for the children in our community and without donations from individuals like you, this would not be possible. Donations help sustain our organization and benefit the community in which we serve.

Like previous years we will be reserving Seminary Park for this event. We please ask if you could waive the reservation fee for the park to try and help offset some of our costs. Because we are a non-for – profit organization this would make a big difference for us.

Thank you in advance for your support.

With best regards,

Ryan Lasch

**2014**  
**By-Laws**  
**Geneva Lake Use Committee**

**Name**

The name of this organization shall be the **Geneva Lake Use Committee (GLUC)**

**Mission Statement**

*To maintain the safety and environmental quality of Geneva Lake now and in the future. Committee is a recommending body. Their recommendations shall be presented to each participating municipality for joint uniform consideration and action.*

**Objects**

The objects and purpose of this committee shall be to encourage and promote the following agendas.

Maintain the safe use of Geneva Lake by recommending the establishment of and revisions to the Joint uniform Lake Ordinance for Geneva Lake, Wisconsin.

Help maintain the quality and environmental aspects of Geneva Lake, its surrounding wetlands, properties and adjoining waterways through committee and interested party input.

**Membership**

Membership will come from the following communities;

Village of Fontana

City of Lake Geneva

Town of Linn

Town of Walworth

Village of Williams Bay

Membership shall be established in the following manner:

The chief executive officer of the governing body of each community, with the exception of the Town of Walworth, shall appoint two members to the committee; one shall be a member of the legislative body of their community, and the other shall be a lay person residing within their community.

Should the chief executive officer of the Town of Walworth, in the future, appoint a member of that town's legislative body and a lay person residing within that community to the committee, such members shall enjoy the same rights and privileges as all other members of the committee.

**Resignation by any committee member**

Any and all resignation shall be in letter from and either mailed or hand delivered to the Committee Chairperson.

**Non-member public participation**

All members of the public may attend the GLUC Meetings, however only committee members have the right to vote.

**Meetings and Elections**

Meetings shall be held as needed on the third Tuesday of the month. At least five days of written notice shall be given to all members of the public and members prior to each meeting. A special meeting of the GLUC may be called by the Chairperson or upon the request of three or more members.

A quorum will consist of five committee members for voting purposes; discussion can take place at any meeting with any number of committee members present, however no action shall be taken when a quorum is not present.

All recommendations to participating communities require the affirmative vote of a majority of the members attending a meeting when a quorum is present.

**The order of the meetings shall be as follows;**

- Call to order
- Roll call either written or verbal
- Approval of Minutes from last meeting
- Public Comments
- Correspondence received
- Treasurer report
- New business
- Old business
- Adjournment

**Elections**

Elections for a Chairperson, Treasurer, and a Secretary of the Committee shall be held during the April meeting with nominations taking place at the March meeting. The Treasurer shall be appointed by the Committee and may or may not be a member of the Committee. If the Treasurer is not a member of the Committee, the Treasurer will be a non-voting officer.

The Committee may elect and other officers it deems necessary for the efficient operations of the Committee.

**Officers and their powers and duties**

Officers of the committee shall consist of a Chairperson, a Treasurer, and a Secretary. The following are the duties of each:

**Chairperson:**

The Chairperson shall preside at all meetings of the GLUC. In the absence of the Chairperson any Member in good standing can be appointed by the Chairperson to preside over the meeting with prior notification. The Chairperson is responsible for establishing the agenda of each meeting by supplying the proper information to the Secretary 10 days prior to the meeting date. The Chairperson shall run all meetings according to Robert's Rules of Order.

**Secretary:**

The Secretary shall take minutes at all meetings and forward copies of said minutes to all members 5 days prior to the next meeting for review. The Secretary will only place those items on the agenda that are directed by the Chairperson or as directed by the Committee at a duly called meeting.

Expenses incurred by the Secretary shall be forwarded to the Treasurer for recommendation of payment at each meeting.

**Treasurer:**

The Treasurer shall keep track of all dues paid by each municipality and invoices paid from the Committee checkbook. The Treasurer shall give a report at all meetings. The Treasurer shall prepare all finance books for audit by designated committee members at each January meeting.

**Expenses:**

All expenses of the Committee will be shared equally by the participating communities. Any expenses above \$500.00 will require the approval of all the Legislative bodies of participating communities.

**Dissolution:**

Any Community may withdraw from the Organization upon 30 days written notice to the other participating communities after which time this organization shall be dissolved.

# CITY OF LAKE GENEVA

626 GENEVA STREET  
LAKE GENEVA, WISCONSIN 53147  
(262) 248-3673 • Fax (262) 248-4715  
www.cityoflakegeneva.com



**TO:** MAYOR JIM CONNORS AND COMMON COUNCIL

**FROM:** CITY ADMINISTRATOR DENNIS JORDAN *Dennis E. Jordan*

**DATE:** MARCH 24, 2014

**RE:** NAMING RIGHTS POLICY

**Background:** The City of Lake Geneva has never had a “Naming Right Policy” for those citizens that would like to contribute a substantial amount of money that would enable projects to be built that, without private funding, may not be constructed. The City Attorney and I have written such a policy and are presenting it to the Common Council for your approval. Just this year we have the possibility of two such donors coming forward and it would be best to have a policy in place sooner than later. The Beautification Committee reviewed and approved the policy and the Park Board reviewed and made suggestions for the wording of the policy. When a donor comes forward to fund a project, an agreement will be entered between the donor and the City, which will come back to the Common Council for final approval. Staff recommends approval of the Naming Rights Policy.

**Recommendation:** Approve the Naming Rights Policy for Public Memorials/Facilities.

## **LAKE GENEVA**

### **PUBLIC MEMORIAL/FACILITY NAMING POLICY**

#### **PURPOSE:**

The purpose of this policy is to define the process and criteria by which the City of Lake Geneva shall name public memorials and/or facilities. General guidelines which merely serve as an example and are not binding are attached hereto as Exhibit A. This policy does not create any contractual or vested rights for the naming of public memorials or facilities. The City Council for the City of Lake Geneva retains the absolute discretion for naming public memorials and facilities.

#### **INTENT:**

The success and vitality of the City depends upon contributions and support from citizens, volunteers, financial donors, community leaders and officials. The City welcomes the opportunity to honor those who have demonstrated outstanding service and/or otherwise made a substantial contribution to the City of Lake Geneva.

The number of facilities owned by the City is finite. As a result, a fair and impartial policy is necessary to assure naming a facility based after an individual, group or corporation is reserved for those most deserving and appropriate, and to recognize substantial contributions to the City of Lake Geneva.

#### **POLICY:**

In considering the naming of a public facility, the City Common Council shall adhere to the following policy:

If a person, family or organization makes a significant contribution (i.e. cash, property, equipment, service, etc.) to the City, and but for that contribution, a memorial or facility would not have been constructed or substantially improved, their wishes to name have the memorial or facility for which the donation was used shall be considered by the Common Council.

Nevertheless, the Common Council of the City of Lake Geneva shall have final authority for naming any property in the City.

#### **NAMING CRITERIA:**

- 1. Naming facilities such as buildings, parks and playgrounds for financial considerations.**

A facility may be named if the City receives a gift that represents a substantial portion of the capital cost of a new or renovated facility. "Substantial portion" shall mean that when a financial contribution is made, but for the contribution, the renovation or construction of the memorial or facility would not have been accomplished. Nevertheless, the Common Council shall have ultimate authority to determine what qualifies as an acceptable gift and what constitutes a "substantial portion" for the naming of a public memorial or facility.

**2. Naming facilities such as building, parks and playgrounds for service.**

A facility may be named after an individual for service to the community based upon requests from the public. Such nominations must be supported by documentation and verifications demonstrating substantial contributions to the community which have contributed to and enhanced the rich heritage of the City of Lake Geneva.

While this policy will apply to a majority of situations that are presented, and this policy is intended to maintain fairness and consistency, the City recognizes that there may be unique circumstances or events that may warrant a departure from this policy for the overall good of the City. The Common Council shall consider such matters and shall identify any special consideration and justifications to deviate from this policy on a case-by-case basis.

Policy established by the City of Lake Geneva Common Council

Date\_\_\_\_\_

## **APPENDIX "A"**

### **GUIDELINES**

A public facility may be named exclusively after a donor of 50% or more of a facility that costs at least \$500,000.

For facilities that are over \$100,000 and less than \$500,000 the same criteria as are used above, but the Common Council will give consideration to less of a percentage on a case by case basis.

On projects under \$100,000, exclusive naming rights will be considered if a donor gives 75% or more towards a facility.

Donors will have the following items available to them as well as the naming rights;

- Name will remain for the life of the structure.
- Sponsor will be recognized at the dedication with an opportunity to speak.
- Name will be displayed on the face of the structure as agreed upon by all applicable parties.

# CITY OF LAKE GENEVA

## PLAN COMMISSION MEETING

MONDAY, MARCH 17, 2014 - 6:30 PM  
COUNCIL CHAMBERS, CITY HALL

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### MINUTES

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1. **Meeting called to order by Mayor Connors 6:30 PM.**

2. **Roll Call**

*Present* Hougen, Flower, Skates, Poetzingler, Robers, Connors

*Also Present* Administrator Jordan, Planner Slavney, Atty. Draper, Gregoles

3. **Approve Minutes of February 17, 2014 Plan Commission meeting as distributed**

MOTION #1

Flower/Skates motion to approve the Minutes of 2/17/14 Plan Commission meeting as distributed.

The motion carried unanimously.

4. **Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.**

PUBLIC SPEAKER #1 Terry O'Neil – 954 George St., Lake Geneva, WI 53147

COMMENTS

Who can enter/offer amendments for the Comprehensive Plan? Only city residents or can someone outside the city have input? Is there a standard procedure for this and if so please advise what that is.

5. **Acknowledgment of Correspondence** NONE

6. **Downtown Design Review**

**Application by Mark and Karen Braden to add two exterior awnings with signs for their business, Braden Dental Center, located at 101 Broad Street, Suite 203, Tax Key No. ZNCG 00007.**

*Cancelled - Withdrawn by request of the applicant.*

7. **Review and Recommendation on an application for Site Plan Review filed by Committee for the Beautification of Lake Geneva Inc, for an open air covered pavilion at Flat Iron Park.**

DISCUSSION

Mayor Connors disclosed for the record that he is a member of the Beautification Committee.

SPEAKER #1 (Agent) Todd Krause, 1112 Wisconsin St, Lake Geneva, WI 53147  
(He is a member of the Beautification Committee and speaking on their behalf.)

Krause addressed the Commission on the proposal. He gave a quick history of the project as well as details of the proposed pavilion design and dimensions. Two images were provided by Krause/Etten and were shown on the projector. Image # 1 was of the proposed Pavilion design. Image #2 was a map of the property Site Plan.

**AGENDA ITEM # 7 CONTINUED**

Ald. Hougen/Krause discussed the concerns that were brought up last year by the Art in the Park group; that the new project would cut off some of their space. Krause confirmed that his discussion with their representative ended (last year) with a positive agreement that it would in fact, not cause a problem for them.

SPEAKER #2 (Agent) Ken Etten, 1109 Wisconsin St, Lake Geneva, WI 53147  
(He is an agent for the Beautification Committee and speaking on design of pavilion.)

Etten addressed the Commission on the materials, details and zoning of the structure.  
Etten and the Commission discussed the lighting/acoustical limit requirements and sidewalks/ADA requirements of the pavilion. They also discussed what the backdrop or view for weddings would be.  
Ald. Hougen/Mayor Connors/Slavney discussed the zoning of Flat Iron Park as compared to other parks in Lake Geneva.

**MOTION #2**

Flower/Skates motion to approve an application for Site Plan Review filed by Committee for the Beautification of Lake Geneva Inc, for an open air covered pavilion at Flat Iron Park, with sidewalks to be included but their exact location determined by staff at a later use and including the fact findings as listed in the Staff Report. The motion carried unanimously.

**8. Continuation of a Public Hearing and recommendation on a Conditional Use Application filed by Alex Paredes & Yolanda Frontany, 4843 W. Dakin Street, Chicago, IL, 60641 to operate a Commercial Indoor Lodging facility in a Planned Development (PD) zoning district located at 328 Center Street, Tax Key No. ZOP 00149.**

SPEAKER #1 (Applicant) Alex Paredes, 4843 W. Dakin St., Chicago, IL 60641

**DISCUSSION**

Paredes and the commission discussed the addition of items in the packet per requests from the last meeting. Also discussed were facility hours (12 months a year), living arrangements of the property owners, parking, fencing ideas and location and # of Exits for the facility in general.  
Hougen/Mayor Connors/Flower/Paredes also discussed other rental properties in that area.

**MOTION #3**

Ald. Hougen/Poetzing motion to close the public hearing. The motion carried unanimously.

**ADDITIONAL DISCUSSION**

Flower/Mayor Connors/Robers/Slavney discussed the frequency of usage and limitations; limiting to the current owner or to the property.

**MOTION #4**

Ald. Hougen/Flower motion to approve the Conditional Use Application filed by Alex Paredes & Yolanda Frontany, 4843 W. Dakin Street, Chicago, IL, 60641 to operate a Commercial Indoor Lodging facility in a Planned Development (PD) zoning district located at 328 Center Street, Tax Key No. ZOP 00149; limiting the conditional use to the current owner and including staff recommendations. The motion carried unanimously.

**9. Public Hearing and recommendation on a Conditional Use Application filed by John and Barbara Salyer, 456 W Sunset Road, Barrington, IL 60010, to install an accessory structure (Pier) closer to the lake shore than the primary structure, within Lakeshore Overlay Zoning District located at 845 Bayview Drive, Lake Geneva, WI 53147, Tax Key No. ZBG 00006.**

SPEAKER #1 (Agent) Jeff Reed/Reed's Construction, W3199 S. Lake Shore Drive, Lake Geneva, WI 53147

**DISCUSSION**

Reed advised the Commission on the details of putting in an additional boat slip with canopy etc.  
Mayor Connors/Reed discussed DNR's pending approval and Army has signed off on it already.  
Ald. Hougen/Reed discussed details of the pier site/awning issues to be met and cleared by the DNR.

**AGENDA ITEM # 9 CONTINUED**

**PUBLIC COMMENT - NONE**

MOTION #5

Hougen/Skates motion to close the public hearing. The motion carried unanimously.

MOTION #6

Mayor Connors/ Ald. Hougen motion to approve the Conditional Use Application filed by John and Barbara Salyer, 456 W Sunset Road, Barrington, IL 60010, to install an accessory structure (Pier) closer to the lake shore than the primary structure, within Lakeshore Overlay Zoning District located at 845 Bayview Drive, Lake Geneva, WI 53147, Tax Key No. ZBG 00006, contingent upon receiving DNR approval. The motion carried unanimously.

**10. Public Hearing and recommendation on a Conditional Use Application filed by Rodger Fisher, 946 Ceylon Court, Lake Geneva, WI 53147, to install an accessory structure (Pier) closer to the lake shore than the primary structure, within Lakeshore Overlay Zoning District located at 946 Ceylon Court, Lake Geneva, WI 53147, Tax Key No. ZA1240 00002.**

DISCUSSION

Jeff Reed/Reed's Construction (representing applicant) – W3199 S. Lake Shore Drive, Lake Geneva, WI 53147  
Reed addressed the Commission on details of putting in an additional boat slip with canopy etc.

**PUBLIC COMMENT - None**

MOTION #7

Skates/Poetzinger motion to close the public hearing. The motion carried unanimously.

MOTION #8

Skates/Poetzinger motion to approve the Conditional Use Application filed by Rodger Fisher, 946 Ceylon Court, Lake Geneva, WI 53147, to install an accessory structure (Pier) closer to the lake shore than the primary structure, within Lakeshore Overlay Zoning District located at 946 Ceylon Court, Lake Geneva, WI 53147, Tax Key No. ZA1240 00002, contingent on receiving DNR approval. The motion carried unanimously.

**11. Public Hearing and recommendation on a Conditional Use Application filed by Kwik Trip Inc., 1626 Oak Street, La Crosse, WI 54602, for the installation of an electronic message center on a proposed freestanding monument sign located at the proposed Kwik Trip, Tax Key No's. ZA1776 00001 thru 00004, and ZRA 00037A. A Certified Survey Map is currently being recorded with new Tax Key No. being assigned.**

DISCUSSION

*\*The certified survey map has been completed now per Mr. Robers. No one is present on behalf of the applicant.*

Mayor Connors/Robers/Slavney/Flower discussed the items included in the packet regarding this item and that it meets all requirements needed for this sign, etc.; as well as the location of the sign itself.

PUBLIC SPEAKER #1 Terry O'Neil – 954 George St., Lake Geneva, WI 53147

COMMENTS Concerns about the size of the sign. It will be the largest sign with exception to the Burger King sign. He feels it will be obstructive and recommends only 6ft x 6 ft. signage. Furthermore, he feels it is unnecessarily large and may block the Clark station next to it.

PUBLIC SPEAKER #2 Elizabeth Caplin – 513 Broad St., Lake Geneva, WI 53147

COMMENTS She is concerned that Kwik Trip is not here to fight here for themselves and people that live here are present and do not want a sign that size to light up the highway etc. She feels it should be a smaller size sign. It is not a down town location and should be like others that are in that residential area.

**AGENDA ITEM # 11 CONTINUED**

**DISCUSSION**

Mayor Connors/Slavney discussed the sign dimensions. (Gas prices size required by the state.) Slavney discussed other communities sign requirements etc. and stated that this is more in line with what we are trying to change to, rather than that of the older sign's in the area, which are getting extensions etc. Flowers/Mayor Connors/Atty. Draper discussed the sign size and clarifies that the commission is just to approve (or deny) the conditional use application.

**MOTION #9**

Ald. Hougen/Skates motion to close the public hearing. The motion carried unanimously.

**ADDITIONAL DISCUSSION**

Mayor Connors/Slavney discuss and confirm the electronics of the sign and that it meets the requirements that all sign lighting meets the same requirements as other exterior lighting. This sign is actually quite a bit under our requirement of lighting etc.

**MOTION #10**

Ald. Hougen/Flower motion to deny the approval the Conditional Use Application filed by Kwik Trip Inc., 1626 Oak Street, La Crosse, WI 54602, for the installation of an electronic message center on a proposed freestanding monument sign located at the proposed Kwik Trip, Tax Key No's. ZA1776 00001 thru 00004, and ZRA 00037A. Ald. Hougen moved to not approve is based on the undue adverse impact of nearby property, the character of the neighborhood, environmental and traffic factors, and those things that are integrated in our ordinance that allows us to approve or disapprove for the conditional use applications. He feels that based on the statements that have been made, the sign is just incongruous and out of the scale of the neighborhood. It could cause an obstruction.

The motion did not carry; failed with only 1 yes vote to deny. (Ald. Hougen - yes / Balance - No)

**ADDITIONAL DISCUSSION**

Mayor Connors/Slavney/Flower/Skates discuss some confusion about what the Commission is actually voting on. It is clarified that it is the electronics of the sign that the Commission is actually voting on. The size of the sign is not in question. The vote is on the electronics of the sign only.

**MOTION #11**

Skates/Mayor Connors motion to approval the Conditional Use Application filed by Kwik Trip Inc., 1626 Oak Street, La Crosse, WI 54602, for the installation of an electronic message center on a proposed freestanding monument sign located at the proposed Kwik Trip, Tax Key No's. ZA1776 00001 thru 00004, and ZRA 00037A. A Certified Survey Map is currently being recorded with new Tax Key No. being assigned. The motion carried with only 1negative vote by Ald. Hougen.

**12. Public Hearing and recommendation on a Conditional Use Application filed by John J. Karabas, 425 N Lower Gardens Road, Fontana, WI 53125, to open an Indoor Commercial Entertainment (Restaurant) in a General Business (GB) Zoning District located at 816 Williams Street, Tax Key No. ZA2691 00002.**

**SPEAKER #1 (Applicant)** John J. Karabas, 425 N Lower Gardens, Fontana, WI 53125

**DISCUSSION**

Karabas addresses the Commission regarding the project and details of the plan. Mayor Connors discusses the letter dated March 12, 2014, that was in the packet from the Fire Dept stating that they had come to an agreement on what needed to be done. The letter stipulates that the seating is not to exceed 25 occupants and then there were five others listed which the Mayor read to the group. The applicant stated that it would not be a problem.

**PUBLIC COMMENT - NONE**

**MOTION #12**

Flower / Skates motion to close the public hearing. The motion carried unanimously.

**AGENDA ITEM # 12 CONTINUED**

**ADDITIONAL DISCUSSION**

Robers clarified the Conditional Use is for the sit down restaurant only, the seating.  
Mayor Connors/Robers discussed if continuing the conditional use should be to the property or to the owner.

**MOTION #13**

Mayor Connors/Ald. Hougen motion to approve the Conditional Use Application filed by John J. Karabas, 425 N Lower Gardens Road, Fontana, WI 53125, to open an Indoor Commercial Entertainment (Restaurant) in a General Business (GB) Zoning District located at 816 Williams Street, Tax Key No. ZA2691 00002. Including the condition that the terms dictated in Lake Geneva Fire Dept.'s letter dated March 12, 2014 be met. Motion carried unanimously.

**13. Public Hearing and recommendation on a Conditional Use Application filed by Margaret Klingenberg, 3910 Ridge Road, Spring Grove, IL 60081, to construct a Single Family Residence on an existing lot using the SR-4 Zoning requirements in an Estate Residential Zoning District (ER-1) located at Pine Tree Lane, Tax Key No. ZSY 00002.**

SPEAKER #1 (Agent) Ernie with Geneva Lake Dream Homes, 908 S. Wells St., Lake Geneva, WI 53147  
SPEAKER #2 (Applicant) Margaret Klingenberg, 3910 Ridge Road, Spring Grove, IL 60081

**DISCUSSION**

Mayor Connors/Ernie/Flowers/Robers discussed drainage concerns. Flowers requests that our engineers review and confirm that drainage will not have any negative effects on the properties downstream.

**PUBLIC COMMENT - NONE**

**MOTION #14**

Ald. Hougen/Poetzinger motion to close the public hearing. The motion carried unanimously.

**MOTION #15**

Flower/Skates motion to approve the Public Hearing and recommendation on a Conditional Use Application filed by Margaret Klingenberg, 3910 Ridge Road, Spring Grove, IL 60081, to construct a Single Family Residence on an existing lot using the SR-4 Zoning requirements in an Estate Residential Zoning District (ER-1) located at Pine Tree Lane, Tax Key No. ZSY 00002. Including Staff recommendations and requiring the City Engineer's letter of approval regarding drainage. This motion carried unanimously.

**14. Continuation of a Review and recommendation to establish an Annual Comprehensive Amendment Process limiting requests to a single cycle every year.**

**DISCUSSION**

Slavney and the Commission discussed the benefits, timeline and potential amendments of this process, including potential extraordinary development situations, in detail.

**MOTION #16**

Ald. Hougen/Flower motion to approve the recommendation to establish an Annual Comprehensive Amendment Process limiting requests to a single cycle every year. The policy is outlined in the letter dated 2/27/14 by Mr. Slavney. The motion carried unanimously.

**15. Continuation of a Review and recommendation to establish new Zoning Code Amendments regarding Nonconforming Situations.**

**DISCUSSION**

Slavney and the Commission discussed the proposal of this new Zoning Code amendment regarding non-conforming situations. The types of properties that would fall under this new process were discussed and examples given. Mayor Connors/Atty. Draper commented that to go forward, this item must be sent to a public hearing and then recommend to the council.

*AGENDA ITEM # 15 CONTINUED*

MOTION #17

Ald. Hougen/Skates motion to move forward with a public hearing on April 21, 2014 to review the recommendation to establish new Zoning Code Amendments regarding Nonconforming Situations. The motion carried unanimously.

**16. ADJOURNMENT**

MOTION #18

Skates/Hougen motion to adjourn the meeting at 8:54 pm. Motion carried unanimously.

/s/ Jackie Gregoles, Building & Zoning Administrative Assistant

**THESE MINUTES ARE NOT OFFICIAL UNTIL APPROVED BY THE PLAN COMMISSION**

**STAFF REPORT**  
To Lake Geneva Plan Commission

Meeting Date: March 17, 2014

Agenda Item #6

**Applicant:**  
Mark and Karen Braden, Braden Dental Center  
101 Broad Street, Suite 203  
Lake Geneva, WI 53147

**Request:**  
2 Exterior awnings with signs  
Tax Key No. ZNCG 00007

**Description:**

The applicant proposes to install two awnings with signage. The design appears to meet not only the Downtown Design Overlay District requirements, but also complies with the Main Street requirements and matches existing awnings with signs at the proposed location.

It is the staff's opinion that this proposed will no adverse effects on the downtown appearance and it is the staff's recommendation that awning and sign be approved with any Commission amendments.

Agenda Item #7

**Applicant:**  
Committee for the Beautification of Lake Geneva  
626 Geneva Street  
Lake Geneva, WI 53121

**Request:**  
Site Plan Review for the installation of a Open Air Pavilion at Flat Iron Park to match the existing architecture of the Riviera building.

**Description:**

The applicants would like to remove the existing concrete slab and replace it with a raised platform stage complete with a roof structure to match the style and architecture of the Riviera Building across the street.

**Staff Recommendation:** Staff review of the submitted plans finds them to be in compliance with ordinance requirements and would have no objection to approval. If, after public hearing, the commission wishes to recommend approval, the appropriate fact finding is:

1. All standards of the Zoning Ordinance and other applicable City, State and Federal regulations are met;
2. The public health and safety is not endangered;
3. Adequate public facilities and utilities are provided;
4. Adequate control of storm water and erosion are provided and the disruption of existing topography, drainage patterns and vegetative cover is maintained insofar as is practical;
5. Appropriate traffic control and parking are provided;

6. Appropriate landscaping and open space areas are provided;
7. The appearance of structures maintains a consistency of design, materials, colors, and arrangement with nearby properties of similar use which comply with the general architectural guidelines provided in subsections i. through v., below:
  - i. Exterior construction materials shall be consistent with Sec.98-718;
  - ii. Exterior building design or appearance shall not be of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards;
  - iii. Exterior building design or appearance shall not be so identical with nearby buildings so as to create excessive monotony or drabness. A minimum of five basic home styles shall be provided in each residential subdivision;
  - iv. Exterior building design or appearance shall not be constructed or faced with exterior material which is aesthetically incompatible with other nearby buildings or which presents an unattractive appearance to the public and from surrounding properties; and
  - v. Exterior building, sign, and lighting design or appearance shall not be sited on the property in a manner which would unnecessarily destroy or substantially damage the natural beauty of the area.

Agenda Item #8

Applicant:

Alex Paredes & Yolanda Frontany  
4843 W. Dakin Street  
Chicago, IL 60641

Request:

Conditional Use to operate a Commercial Indoor Lodging facility in a Planned Development (PD) zoning district located at 328 Center Street, Lake Geneva, WI 53147, Tax Parcel ZOP 00149.

Description: The applicant would like to operate a Commercial Indoor Lodging facility at 328 Center Street. Property currently has a Conditional Use permit to operate as Office space, but is sitting empty due to lack of rentals for Professional Services.

Action by the Plan Commission:

As part of the consideration of a requested Conditional Use Permit, the Plan Commission needs to make findings per the requirements of the Zoning Ordinance, and then make a recommendation to the city Council.

Staff Recommendation:

Staff has no objection to the facility changing from a Professional Office Space to a Commercial Indoor Lodging as there are several of these establishments in the downtown area.

Suggested Plan Commission Finding for Recommendation to Common Council:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
  1. In general, the proposed Conditional Use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed Conditional Use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed Conditional Use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed Conditional Use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed Conditional Use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed Conditional Use outweigh all potential adverse impacts of the proposed Conditional Use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend *denial*, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed Conditional Use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed Conditional Use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed Conditional Use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed Conditional Use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed Conditional Use is not located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed Conditional Use do not outweigh all potential adverse impacts of the proposed Conditional Use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Agenda Item #9

Applicant:

John and Barbara Salyer  
456 W Sunset Road  
Barrington, IL 60010

Request:

Conditional Use approval to install an accessory structure (Pier) closer to the lake than the primary structure in the Lakeshore Overlay Zoning District at 845 Bayview Drive.

Description: The applicant would like to construct a pier for lake access.

Staff Recommendation: Staff has no objection to the proposed pier which has also received approval from the Wisconsin DNR.

A. If, after the public hearing, the Commission wishes to recommend approval, then the appropriate fact finding would be:

1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be:

1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Agenda Item #10

Applicant:

Roger Fisher  
946 Ceylon Court  
Lake Geneva, WI 53147

Request:

Conditional Use approval to install an accessory structure (Pier) closer to the lake than the primary structure in the Lakeshore Overlay Zoning District at 946 Ceylon Court.

Description: The applicant would like to construct a pier for lake access.

Staff Recommendation: Staff has no objection to the proposed pier which has also received approval from the Wisconsin DNR.

- A. If, after the public hearing, the Commission wishes to recommend approval, then the appropriate fact finding would be:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or

other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Agenda Item #11

Applicant:

Kwik Trip Inc  
1626 Oak Street  
La Crosse, WI 54602

Request:

Conditional use to construct an electronic sign on a proposed free standing monument sign located their proposed Convenience Store

Description: The applicant would like to install an electronic message board onto a proposed monument sign at Kwik Trip Convenience Store, on Williams Street, which requires a conditional use approval.

Staff Recommendation: Staff has no objection to the request.

- A. If, after the public hearing, the Commission wishes to recommend approval, then the appropriate fact finding would be:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Agenda Item #12

Applicant:

Request:

John J Karabas, dba Pie High Pizza  
425 Lower Gardens Road  
Fontana , WI 53125

Conditional Use approval for Indoor  
Commercial Entertainment(dining).

Description: The applicant would like to extend indoor dining to the area in an existing building attached to his take-out pizza location.

Staff Recommendation: Staff has no objection to the request. Location was previously used as a grocery store and is currently sitting in an empty condition. Must comply with any Fire Department conditions.

- A. If, after the public hearing, the Commission wishes to recommend approval, then the appropriate fact finding would be:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the

neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
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  5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Agenda Item #13

Applicant:

Margaret Klingenberg  
3910 Ridge Road  
Spring Grove, IL 60081

Request:

Conditional Use approval the construction of a single family home in the ER-1 district using SR-4 district setback requirements.

Description: The applicant would like to construct a new single family dwelling on an existing substandard lot.

Staff Recommendation: Staff has no objection as the submitted plans conform to the SR-4 District requirements.

- A. If, after the public hearing, the Commission wishes to recommend approval, then the appropriate fact finding would be:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Agenda Item #14 & 15

Presentation, by Mike Slavney, City Planner, on process to amend the Comprehensive Plan to an annual procedure and recommendations to the City Council for approval.

Presentation, by Mike Slavney, City Planner, to establish a new Zoning classification to deal with Nonconforming Situations. Recommendations to the City Council for approval.

*Staff may provide additional comment on the above items and will comment on remaining agenda items at the meeting.*

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Zoning Administrator

# CITY OF LAKE GENEVA

626 GENEVA STREET  
LAKE GENEVA, WISCONSIN 53147  
(262) 248-3673 • Fax (262) 248-4715  
www.cityoflakegeneva.com



**TO:** MAYOR JIM CONNORS AND COMMON COUNCIL

**FROM:** CITY ADMINISTRATOR DENNIS JORDAN *Dennis E. Jordan*

**DATE:** MARCH 24, 2014

**RE:** FLAT IRON PARK PAVILION

**Background:** Several years ago, the Beautification Committee began to look at various structures that musicians and entertainers could use in Flat Iron Park. The Committee looked at clam shell styled performing arts structures, but they were very expensive and would block the view from certain areas of the park. This past year the Beautification Committee has revisited this project and has researched a pavilion style of architecture. The Committee hired an architect to draw plans for a pavilion style band area. The plan has been before the Park Board, the Planning Commission and the Public Works Committee. The Park Board is recommending that the Common Council move ahead with the project. The Public Works Committee reviewed the project and made no objection to moving it forward. The JC's were contacted as were the officers of Art in the Park and both agreed that the structure would not interfere with their events

The project is to be financed with a \$100,000 contribution from the Beautification Committee, \$100,000 from a private donor and the remainder to come from private donors and/or remaining TIF funds for Flat Iron Park. By approving the project, the Council will allow the Beautification Committee to make contact with donors, consider donations for naming rights, and prepare final designs and when funds are met, to go forward with construction.

**Recommendation:** Approve construction of a performing arts pavilion in Flat Iron Park.

APPLICATION FOR SITE PLAN REVIEW

City of Lake Geneva

Site Address and Parcel No. or Legal Description:

FLAT IRON PARK  
CENTER STREET + WIGLEY DRIVE, LAKE GENEVA, WI 53147  
ORIGINAL PLAT

Name and Address of Current Owner:

CITY OF LAKE GENEVA  
626 GENEVA STREET, LAKE GENEVA, WI 53147

Telephone No. of Current Owner including area code: (262) 248-3673

Name and Address of Applicant:

COMMITTEE FOR THE BEAUTIFICATION OF LAKE GENEVA INC.  
361 W. MAIN ST. / P.O. BOX 187, LAKE GENEVA, WI 53147

Telephone No. of Applicant including area code: (262) 219-0514 (TODD KOENE/CELL)  
(262) 248-2311 (DAN WINLER/0)

Proposed Use:

TO CONSTRUCT A NEW OPEN AIR COVERED PAVILION  
STRUCTURE FOR OUTDOOR CONCERTS, VENETIAN  
FESTIVAL AND OTHER EVENTS.

Zoning District: ER-1 ESTATE RESIDENTIAL DISTRICT

Names and Addresses of architect, professional engineer and contractor of project:

McCORMACK + ETTEB / ARCHITECTS LLP  
400 BROAD STREET (T) (262) 248-8391 EXT. 12  
LAKE GENEVA, WI 53147 E-MAIL: kenemccormack@etteb.com

Short statement describing activities to take place on site:

THE CURRENT PERFORMANCE AREA IS AN OPEN CONCRETE  
SLAB AT THE NORTH END OF FLAT IRON PARK. THE PROPOSED  
PAVILION WOULD PROVIDE A RAISED STAGE WITH A ROOF  
STRUCTURE FOR MUSIC CONCERTS, VENETIAN FESTIVAL,  
WEDDINGS AND FAMILY GATHERINGS AND A VARIETY  
OF OTHER OUTDOOR EVENTS.

Site Plan Review fee: \$400.00, due upon filing of Application



Signature of Applicant

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

TODD KRAUSE, as applicant/petitioner for:

Name: COMMITTEE FOR THE BEAUTIFICATION OF LAKE GENEVA INC.

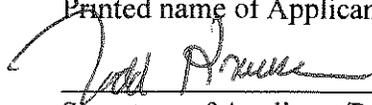
Address: 361 W. MAIN STREET / P.O. BOX 187  
LAKE GENEVA, WI 53147

Phone: (C) (262) 215-0514

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 12TH day of FEBRUARY, 2014.

TODD KRAUSE  
Printed name of Applicant/Petitioner

  
Signature of Applicant/Petitioner

February 18, 2014



Mr. Ken Robers  
Building Inspector / Zoning Administrator  
City of Lake Geneva  
626 Geneva Street  
Lake Geneva, WI 53147

**Re: APPLICATION FOR SITE PLAN REVIEW & APPROVAL  
PROPOSED NEW FLAT IRON PARK PAVILION  
CENTER STREET & WRIGLEY DRIVE  
LAKE GENEVA, WISCONSIN 53147**

Dear Mr. Robers:

The **Committee for the Beautification of Lake Geneva, Inc.**, respectfully requests *Site Plan Approval* for the proposed *New Flat Iron Park Pavilion* located at the north end of Flat Iron Park between Center Street and Wrigley Drive in the City of Lake Geneva as described below.

A. For a number of years, various organizations, including the **Lions Club**, the **Geneva Lake Area Chamber of Commerce "Concerts in the Park"**, and others have used the bare concrete slab at the north end of Flat Iron Park for musical events, Venetian Festival and a variety of activities. While it provided a solid surface for these activities, it provided no protection from the elements. The **Committee for the Beautification of Lake Geneva, Inc.**, wishes to construct a *New Flat Iron Park Pavilion* with a raised concrete stage, decorative round columns and a stepped concrete tile roof to provide a covered space for musical performances, Venetian Festival activities, and other park-related events such as weddings and family gatherings. The *New Flat Iron Park Pavilion* would have a raised brick and concrete stage 46'-0" x 35'-0" (approximately 1,448 sq. ft., roughly the size of the existing concrete slab) covered by a stepped roof structure approximately 46'-0" x 30'-0" topped by a cupola. The clear height from the stage platform to the bottom of the roof structure would be 12'-0" and the overall height from grade to the top of the cupola would be 30'-0". The brick, round columns and concrete roof tile would be similar to that used on the Riviera, the Beach House and other lakefront municipal structures. *The Committee for the Beautification of Lake Geneva believes the proposed New Flat Iron Park Pavilion would enhance the public use of the park for musical performances and other events for years to come and provide a handsome addition to this wonderful lakefront urban space.*

McCormack + Etten / Architects, LLP

400 Broad Street, Lake Geneva, WI 53147  
Email: contact@mccormacketten.com

PH (262) 248-8391 Fax (262) 248-8392  
<http://www.mccormacketten.com>

**B.** The Site of the proposed *New Flat Iron Park Pavilion* is at the north end of **Flat Iron Park**, which is defined as part of the **Original Plat of the Village of Geneva**. The area of the **Park** is approximately **81,238 square feet (1.86 acres)** and is bordered by **Center Street** to the east, **Wrigley Drive** to the west, and the **Boat Lagoon** to the north. *The property is currently zoned ER-1 Estate Residential District in the Lake Geneva Zoning Ordinance and the proposed Pavilion a permitted Land Use Permitted By Right as an Active Outdoor Public Recreation structure as defined under Section 98-206(3)(b).*

**C.** The proposed *New Flat Iron Park Pavilion* would provide a covered space for musical performances and large gatherings such as Venetian Festival, outdoor weddings and picnics. *The New Addition would also provide additional Office space and/or a larger Meeting Room to accommodate future growth and expansion.*

**D.** The maximum number of employees in the **Building** varies from 3 on weekdays to 5 on weekends. The hours of operation for the **Chamber of Commerce** would be 9:00 A.M. to 5:00 P.M. on Monday to Friday and 10:00 A.M. to 4:00 P.M. Saturday and Sunday.

**E. *Site Information per ER-1 Estate Residential District Zoning Requirements Non-Residential Intensity & Bulk Requirements***

**Total Lot Area:** 81,238 sq. ft. (1.86 acres)

**Total Building Area** 1,218 sq. ft.

**Total Building Footprint** 1,448 sq. ft. (0.2%)

**Total Paved Surface:** 1,448 sq. ft. (0.2%)

**Total Lawn or Landscaped:** 60,347 sq. ft. (74.3%) +/-

**Required by Zoning**

**As Proposed**

**Max. No. of Floors: 1**

**Actual: 1**

**Min. Landscape Ratio: 60%**

**Actual: 74.3% +/-**

**Max. Floor Area Ratio: .10**

**Actual: .025**

**Min. Lot Area: 40,000 sq. ft.**

**Actual: 81,238 sq. ft.**

**Min. Lot Width: 100 ft.**

**Actual: Varies from 0' at south end to 318' +/- at the north end**

<b>Shore Yard Setback: 100'</b>	<b>Actual: 103'-4" to Boat Lagoon</b>
<b>Min. Street Setback: 35 ft.</b>	<b>Actual: 38'-3" at Center Street</b>
<b>Min. Side Setback: 30 ft.</b>	<b>Actual: 127'-6"</b>
<b>Min. Rear Setback: 30 ft.</b>	<b>Actual: 127'-6"</b>
<b>Min. Paved Setback: 5' side/10' street</b>	<b>Actual: 34'-9" at Center Street</b>
<b>Max. Height: 35 ft.</b>	<b>Actual: 30 ft.</b>
<b>Min. Off-Street Parking: 1 space per 4 expected patrons at maximum</b>	<b>Actual: Public Street &amp; Lot Parking nearby on Center Street</b>

- **The proposed development shall comply with all requirements of Article VII.**
- **The Exterior Building materials shall consist of concrete, brick, synthetic columns and trim, and concrete tile roofing, and new landscaping.**
- **At this point, there would be no signage mounted on the Pavilion structure.**

The following documents are enclosed to facilitate the review of the proposed development:

1. **Small Location Map:** Map depicting the subject site and other lands within 300 feet of the subject property on the City of Lake Geneva Zoning and Land Use Map.
2. **Proposed Site Plan**
3. **Drawings of the Building Floor Plans and Elevations.**
4. **Landscape Plan**
5. **Lighting & Signage**

Thank you for your consideration of the above project. Please let me know if you need additional information or have any questions.

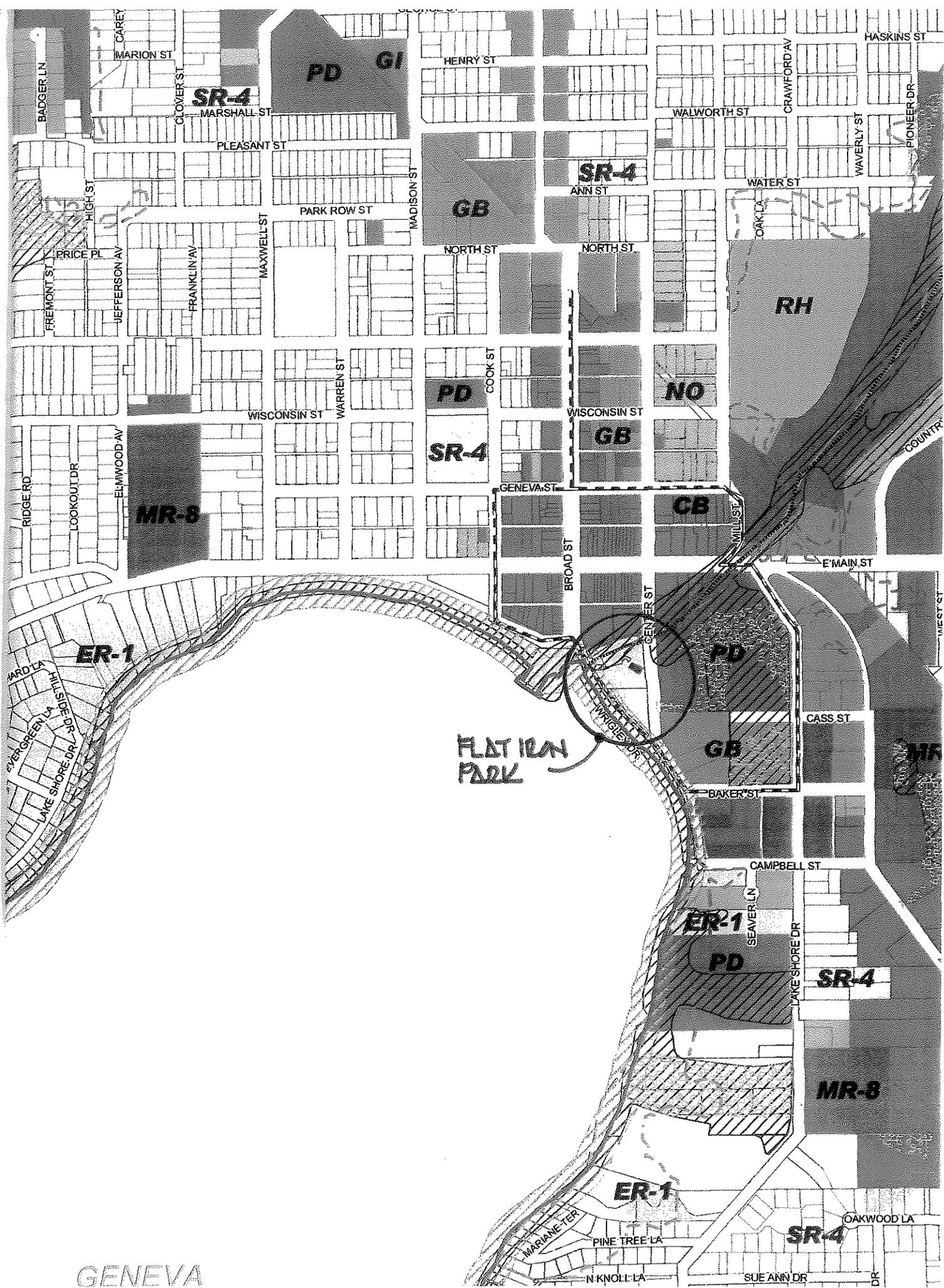
Sincerely,



Kenneth L. Etten A.I.A.

McCormack + Etten / Architects LLP

## A. LOCATION MAP

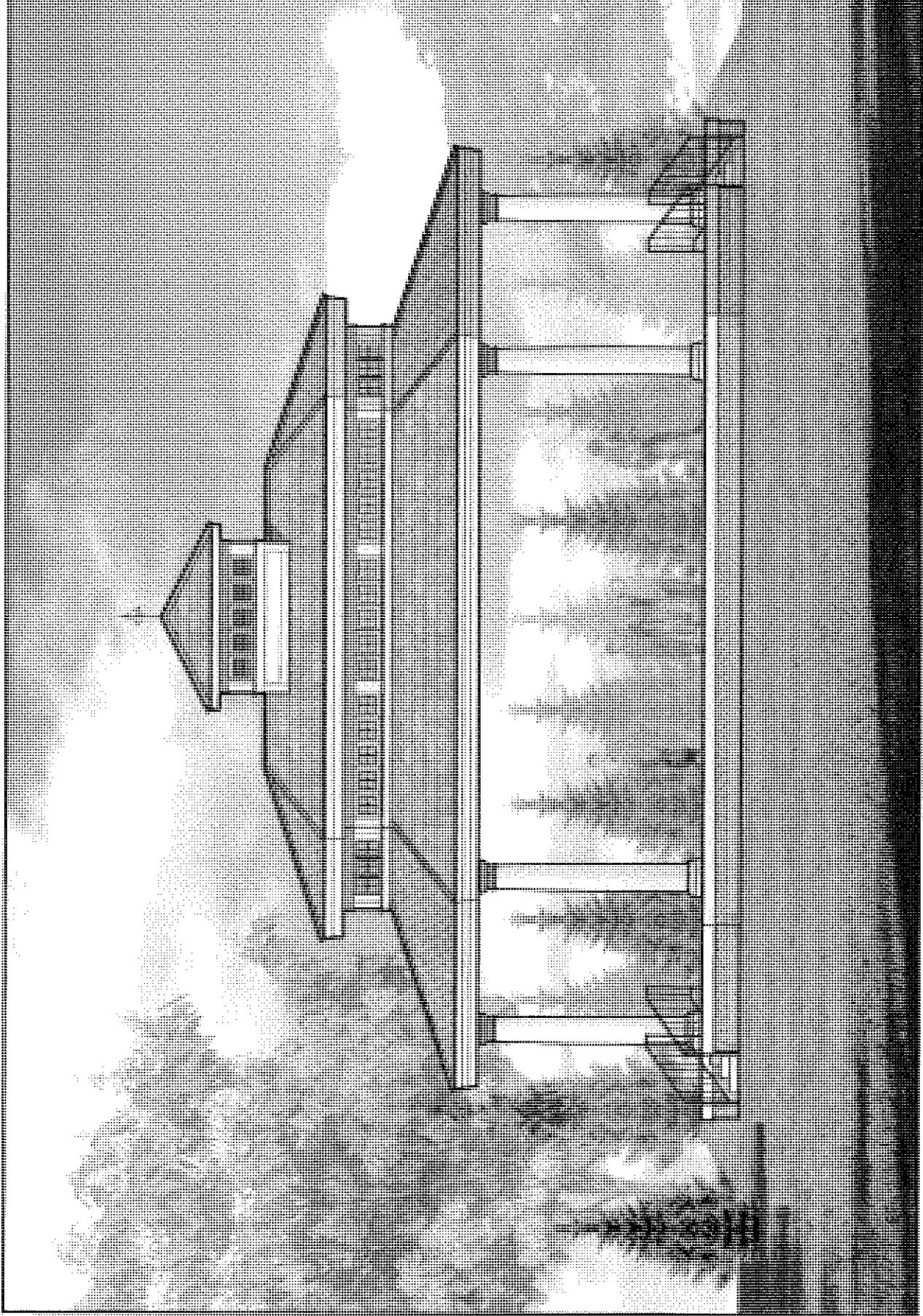


GENEVA

## **B. SITE PLAN**



## **C. BUILDING PLANS & ELEVATIONS**





**WOOD NOTES**

- THE DESIGN, FABRICATION AND CONSTRUCTION OF WOOD FRAMING SHALL CONFORM TO THE REQUIREMENTS OF THE CURRENT ADOPTED EDITION OF APPLICABLE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (SUPPLEMENT) OR FLUID MANUAL FOR ENGINEERED WOOD CONSTRUCTION (SUPPLEMENT).
- FABRICATION AND ERECTION OF WOOD FRAMING SHALL CONFORM TO APFA "2001" - DETAILS FOR CONVENTIONAL WOOD FRAME CONSTRUCTION UNO.
- LUMBER MATERIAL SPECIFICATIONS**
  - 2x4 1 2x6 PRE-CUT STUDS 810D GRADE SPP, (N.L.G.A.)
  - 2x4 1 2x6 2x8 2x10 1 2x12 STANDARD GRADE SPP, (N.L.G.A.)
  - P.T. 2x4 1 2x6 1 P.P. (S.P.F.)
  - P.T. 2x8 2x10 1 2x12 1 P.P. (S.P.F.)
- ENGINEERED LUMBER MATERIAL SPECIFICATIONS**
  - LVL 1/8" PARALLEL LVL (TRUS JOIST)
  - PSL PARALLEL LVL (TRUS JOIST)
  - LVL TRUSS/STRAND USE (TRUS JOIST)
  - LVL 1/4" TRUSS/STRAND USE (TRUS JOIST)
  - GLULAM 2x4-18 SPP
- WALL SHEATHING**
  - BRACED PANEL: WOOD SHEATHING 5/8" APA RATED SHEATHING 32/6 EXPOSURE-1
  - BRACED PANEL: GYPSUM WALL BOARD 1/2" THICK GIB PER PLANS OR SPECIFICATIONS
  - UNBRACED WALL: 1/2" GIB PER PLANS OR SPECIFICATIONS
- ALL BRACING IS NOTED AND SCHEDULED ON PLANS. EXTERIOR SHEATHING IS CONTINUOUS FROM BULL PLATES TO RAFTERS AND FASTENED PER NAILING SCHEDULE.
- FLOOR DECKING** 23/32" APA RATED 810D-FLOOR 24-O.C. EXPOSURE-1 1/2" GIB PANELS, GIBED AND FASTENED PER SCHEDULE UNO.
- ROOF SHEATHING** 5/8" APA RATED SHEATHING 32/6 EXPOSURE-1 OVER STRUCTURAL MEMBERS AT 16" O.C. AND SHALL BE 23/32" APA RATED SHEATHING 48/26 EXPOSURE-1 OVER STRUCTURAL MEMBERS AT 24" O.C. PROVIDE FLYSIBL CLIPS AT 24" O.C. UNLESS TONGUE AND GROOVE DECKING OR BLOCKING IS USED.
- TYPICAL STUD WALL FRAMING UP TO 12' HIGH WALLS (COVER 12' HIGH WALLS WILL BE NOTED)
  - A. EXTERIOR WALLS OF RESIDENCE
    - 1. 4" NOM. STUDS SHOW
    - A. BARRIENT
      - SUPPORTING TWO FLOORS AND A ROOF - 2x4 AT 16" O.C. OR 2x4 AT 12" O.C.
      - SUPPORTING ONE FLOOR AND A ROOF - 2x4 AT 16" O.C.
    - B. FIRST FLOOR - 2x6 AT 16" O.C.
    - C. SECOND FLOOR - 2x6 AT 16" O.C.
    - 2. 6" NOM. STUDS SHOW - 2x6 AT 16" O.C.
  - B. EXTERIOR WALL OF GARAGE: 2x4 OR 2x6 AS SHOWN AT 16" O.C.
  - C. INTERIOR LOAD BEARING WALL (SHADED)
    - 1. 4" NOM. STUDS SHOW
    - A. BARRIENT
      - SUPPORTING TWO FLOORS AND A ROOF - 2x4 AT 16" O.C. OR 2x4 AT 16" O.C.
      - SUPPORTING ONE FLOOR AND A ROOF - 2x4 AT 16" O.C.
    - B. FIRST AND SECOND FLOOR - 2x4 AT 16" O.C.
    - 2. 6" NOM. STUDS SHOW - 2x4 AT 16" O.C.
  - D. INTERIOR NON-LOAD BEARING WALL 2x4 OR 2x6 AS SHOWN AT 16" O.C.
- ALL SPLICES IN TOP PLATE MUST BE CENTERED OVER STUD AND STAGGERED 4'-0" MIN.
- PROVIDE ONE JAMB STUD + ONE KING STUD + HEADER SPANS LESS THAN 6'-0". PROVIDE TWO (2) JAMB STUDS PLUS TWO (2) KING STUDS FOR SPANS 6'-0" TO 12'-0". FOR WALLS TALLER THAN 10'-0" OR OPENINGS LARGER THAN 12'-0" FRAMING WILL BE NOTED.
- ALL WOOD BULL PLATES BEARING ON CONCRETE SHALL BE TREATED FOR ROT AND TERMITES PROTECTION.
- FIBERGLASS OR FOAM BELL BEATER SHALL BE INSTALLED UNDER ALL EXTERIOR WALL PLATES INCLUDING GARAGE WALLS AND AT WALLS BETWEEN GARAGE AND HOUSE.
- INTERIOR BEARING WALL IN WHICH HEAT DUCTS OR PLUMBING FEET PASS THROUGH SHALL NOT HAVE TOP AND BOTTOM PLATE CUT ENTIRELY. FRAME WITH 2x6 STUDS WHERE DIRECTED.
- PROVIDE CODE APPROVED METAL JOIST HANGERS WHERE RAFTER OR JOISTS DO NOT BEAR ON PLATES, BEAMS OR LEDGERS.
- PROVIDE BRIDGING FOR ALL TRIMMER AND JOISTS AT 8'-0" O.C. MAX. UNLESS APPROVED OTHERWISE BY GOVERNING AUTHORITIES OR TRUSS JOIST MANUFACTURER. DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS FLOOR SPAN. SPACE JOISTS AT 19" CENTERS UNDER ALL BATH TUBS AND LAUNDRY TRAYS UNO. PROVIDE SOLID BRIDGING UNDER ALL PERPENDICULAR PARTITIONS.
- PROVIDE 2" NOMINAL WOOD FIRE STOPPING TO CUT OFF ALL CONCEALED DRAFT OPENINGS BETWEEN FLOORS AND AT ATTIC PER APPLICABLE CODES.
- EXTERIOR DECKING SHALL BE SPACED 16" TO 14" APART UNO.
- ALL BUILT-UP STUD COLUMNS MUST BE GIBED AND NAILED THE FULL LENGTH OF THE COLUMN.
- PROVIDE SOLID BLOCKING OF SAME FRAMING MATERIAL OR VERTICAL SQUARE BLOCKING UNDER ALL COLUMN LOCATIONS.

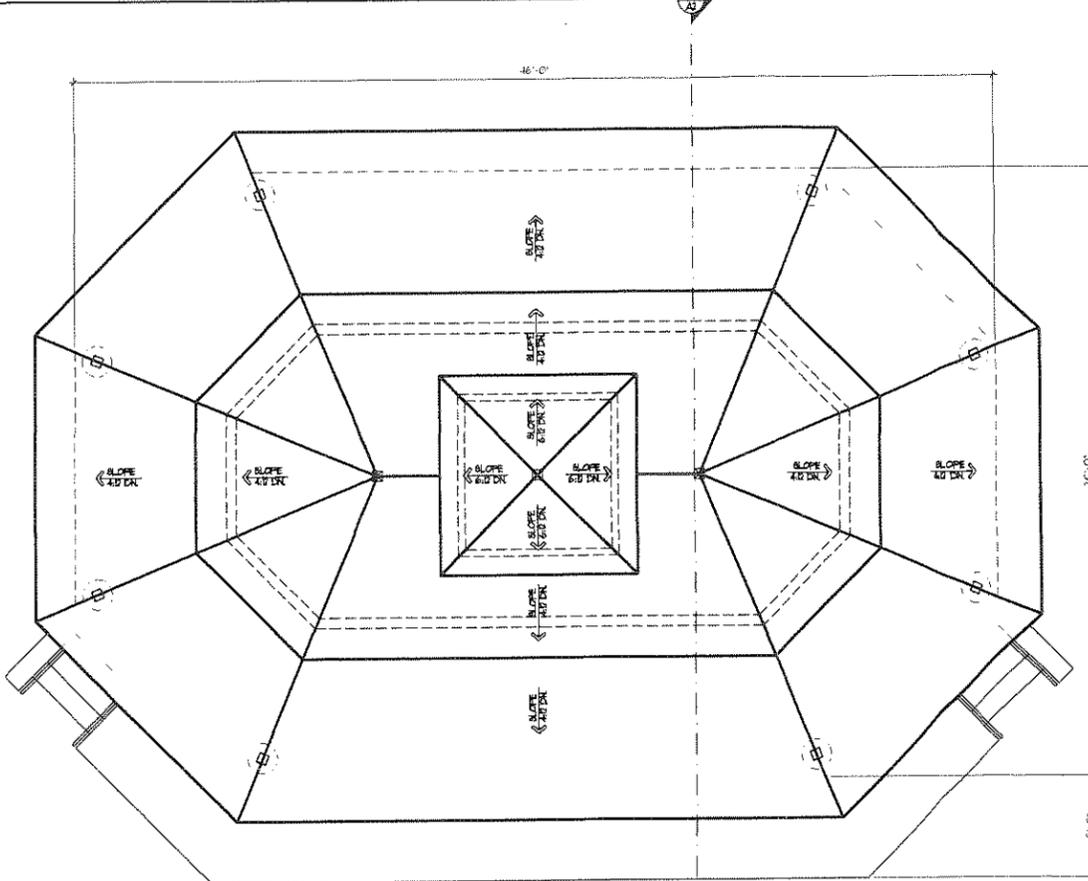
**WOOD CONNECTORS & FASTENERS**

- ALL PRE-ENGINEERED METAL CONNECTORS FOR WOOD CONSTRUCTION SHALL BE SUPPLIED AND INSTALLED AS NOTED ON PLANS AND SHALL BE MANUFACTURED BY "MORRISON STRONG" UNO OR UNLESS ACCEPTABLE ALTERNATES ARE APPROVED IN WRITING BY THE ARCHITECT.
- ALL PRE-ENGINEERED METAL CONNECTORS FOR WOOD CONSTRUCTION MUST BE CODE EVALUATED AND APPROVED BY THE PERMIT AUTHORITY OR HAVE SHOP DRAWINGS SEALED BY AN ENGINEER REGISTERED IN THE STATE WHERE THE PROJECT IS LOCATED.
- ALL NAILS SHALL CONFORM TO ASTM F1617 AND ALL SCREWS SHALL CONFORM TO ASTM D3641 OR HAVE CODE EVALUATIONS AND APPROVAL BY THE PERMIT AUTHORITY AS ALTERNATE FOR THE SPECIFIED FASTENER.
- ALL BOLTS AND LAG SCREWS SHALL CONFORM TO ASTM A307 OR HAVE CODE EVALUATIONS AND APPROVAL BY THE PERMIT AUTHORITY AS ALTERNATE FOR THE SPECIFIED FASTENER.
- CUSTOM CONNECTOR FABRICATOR SHALL PROVIDE SHOP DRAWINGS AND SUBMIT TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION.
- ALL FASTENERS USED TO INSTALL PRE-ENGINEERED METAL CONNECTORS FOR WOOD CONSTRUCTION SHALL STRICTLY FOLLOW MANUFACTURER'S SPECIFICATIONS UNO.
- ALL CONNECTORS IN CONTACT WITH PRESERVATIVE TREATED WOOD MEMBERS SHALL HAVE A MINIMUM PROTECTION AS FOLLOWS:
  - A. PRE-ENGINEERED METAL CONNECTORS SHALL MEET ASTM A639, CLASS G88 GALVANIZED SHEET.
  - B. FASTENERS SHALL MEET ASTM A53 HOT DIPPED GALVANIZING.
  - C. CUSTOM METAL CONNECTORS OVER 1/4" PLATE SHALL BE SHOP PRIMED W/ RUST INHIBITIVE PRIMER.

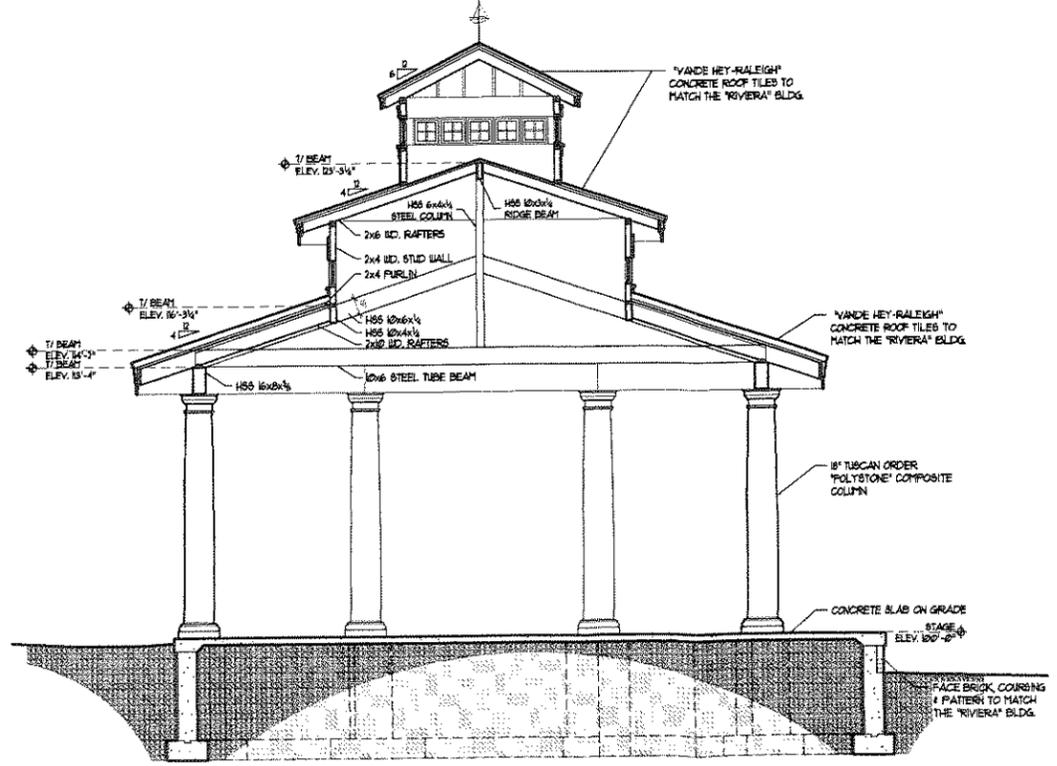
**NAILING SCHEDULE**

FRAMING CONNECTIONS	NAILING (BARRIENT)	NAILING (COMMON)
1. FLOOR JOISTS TO GIRDER, SLANTNAILED	(4) 16d	(3) 16d
2. RIM BOARD TO PLATE OR GIRDER, SLANTNAILED	(2) 16d @ 6" O.C.	(2) 16d @ 6" O.C.
3. RIM BOARD TO FLOOR JOISTS, FACENAILED	(2) 16d	(2) 16d
4. FLOOR JOIST LAP JOINT LUMBER ONLY, FACE NAIL	(7) 16d EA SIDE	(4) 16d EA SIDE
5. BRIDGING OR BLOCKING TO JOIST, TORNAIL, EA END	(4) 16d	(3) 16d
6. SOLE PLATE TO JOIST OR BLOCKING, TYP FACE NAIL	(2) 16d @ 24" O.C.	(2) 16d @ 16" O.C.
7. SOLE PLATE TO JOIST OR BLOCKING, AT BRACED WALLS	(2) 16d @ 8" O.C.	(3) 16d @ 16" O.C.
8. SOLETOP PLATE TO STUD, END NAIL	(3) 16d	(3) 16d
9. STUD TO SOLETOP PLATE, TORNAIL	(4) 16d	(4) 16d
10. DOUBLE STUDS, FACE NAIL	(2) 16d @ 24" O.C.	(2) 16d @ 24" O.C.
11. DOUBLE TOP PLATES, TYP FACE NAIL	(2) 16d @ 24" O.C.	(2) 16d @ 24" O.C.
12. DOUBLE TOP PLATES, LAP 6" FACE NAIL	(3) 16d	(3) 16d
13. TOP PLATES LAP AND INTERSECTIONS, FACENAIL	(3) 16d	(3) 16d
14. CEILING JOIST TO TOP PLATE, SLANTNAIL	(4) 16d	(3) 16d
15. CEILING JOIST LAP JOINT, FACE NAIL	(6) 16d	(3) 16d
16. CEILING JOIST TO PARALLEL RAFTER, FACE NAIL	(6) 16d	(3) 16d
17. ROOF TRUSS / RAFTER TO TOP PLATE, SLANTNAILED	(3) 16d EA. SIDE	(2) 16d EA. SIDE
18. 2x WALLS (JOISTS, OVERBRANES, ETC.)	(2) 16d EACH STUD	(2) 16d EACH STUD
19. BUILT-UP WOOD BEAM: 2 x 12 1/2 x 12 1/2	(3) 16d @ 24" O.C.	(2) 16d @ 24" O.C.
20. BUILT-UP WOOD BEAM: 4 Ply	(4) 16d @ 24" O.C.	(3) 16d @ 24" O.C.
21. BUILT-UP WOOD BEAM: 4 Ply	(4) 16d @ 24" O.C.	(3) 16d @ 24" O.C.
22. ALL MATERIAL	2 16d @ 24" O.C.	2 16d @ 24" O.C.

- SHEATHING FASTENING**
- WOOD SHEATHING (FOR LISTED APPLICATION AND THICKNESS)
    - SUBFLOOR (23/32") @ 6" O.C. EDGES 12" O.C. FIELD
    - WALL SHEATHING (5/8") @ 6" O.C. EDGES 12" O.C. FIELD
    - ROOF SHEATHING (5/8")
      - @ 6" O.C. EDGES + FIELD AT 5' FROM RIDGE AND OVERHANGS
      - @ 6" O.C. EDGES 12" O.C. FIELD OTHERWISE
  - 2" PLASTIC COLLAR NAILS 12" O.C.
  - GYPSUM SHEATHING USED IN DESIGNATED AREAS SHALL BE FASTENED WITH 1/4" TYPE U SCREWS @ 6" EDGES, 12" O.C. FIELD



**ROOF PLAN**  
SCALE: 1/4" = 1'-0"



**01 - TRANSVERSE SECTION**  
SCALE: 1/4" = 1'-0"

**McCormack + Eiten / Architects, LLP**  
400 Broad Street  
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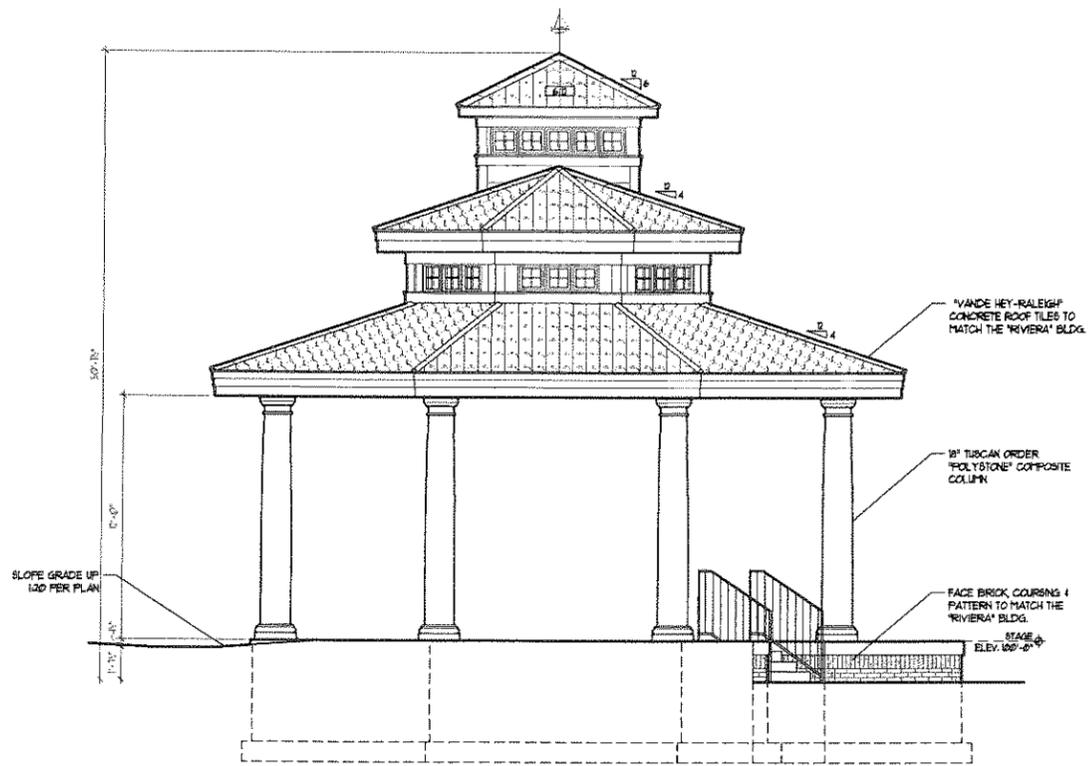
**ME**  
McCormack + Eiten / Architects, LLP

**NEW FLAT IRON PARK PAVILION**  
FLAT IRON PARK  
LAKE GENEVA, WISCONSIN 53147

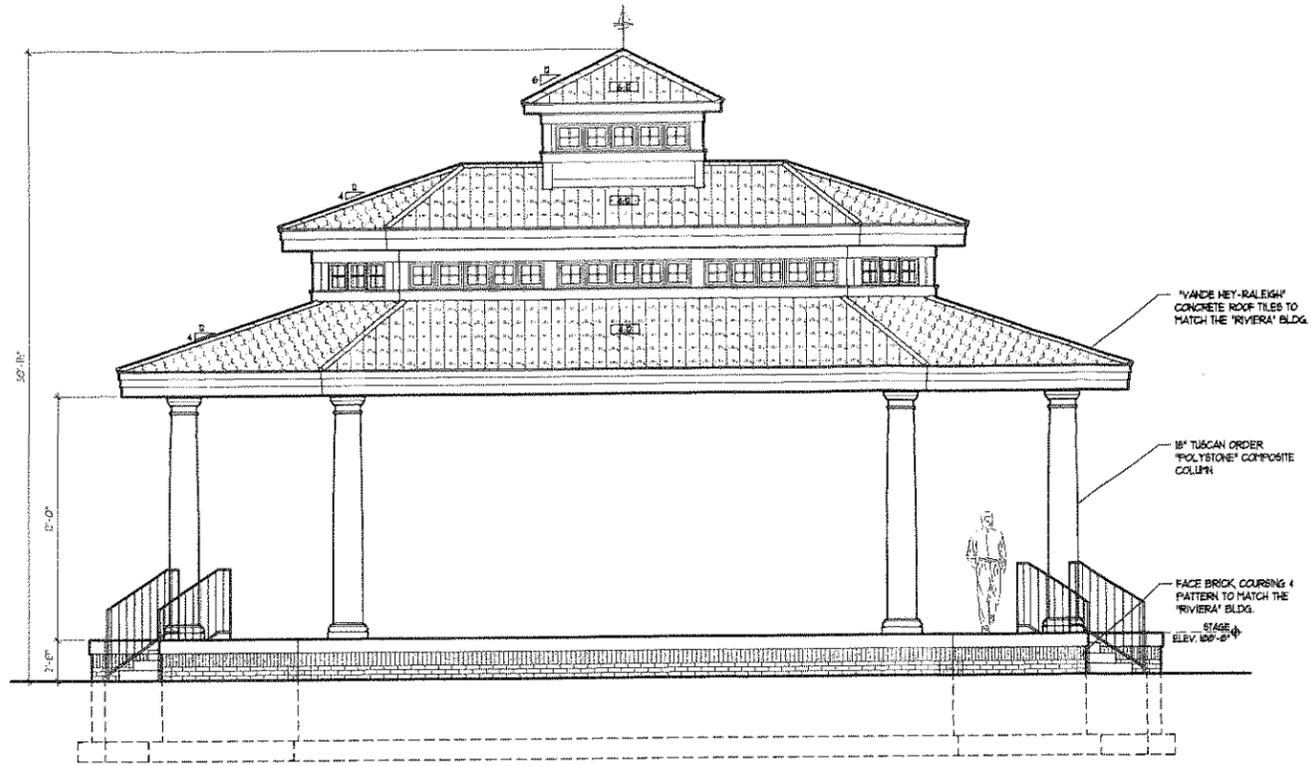
PROJECT NO.  
1306

**REVISIONS**

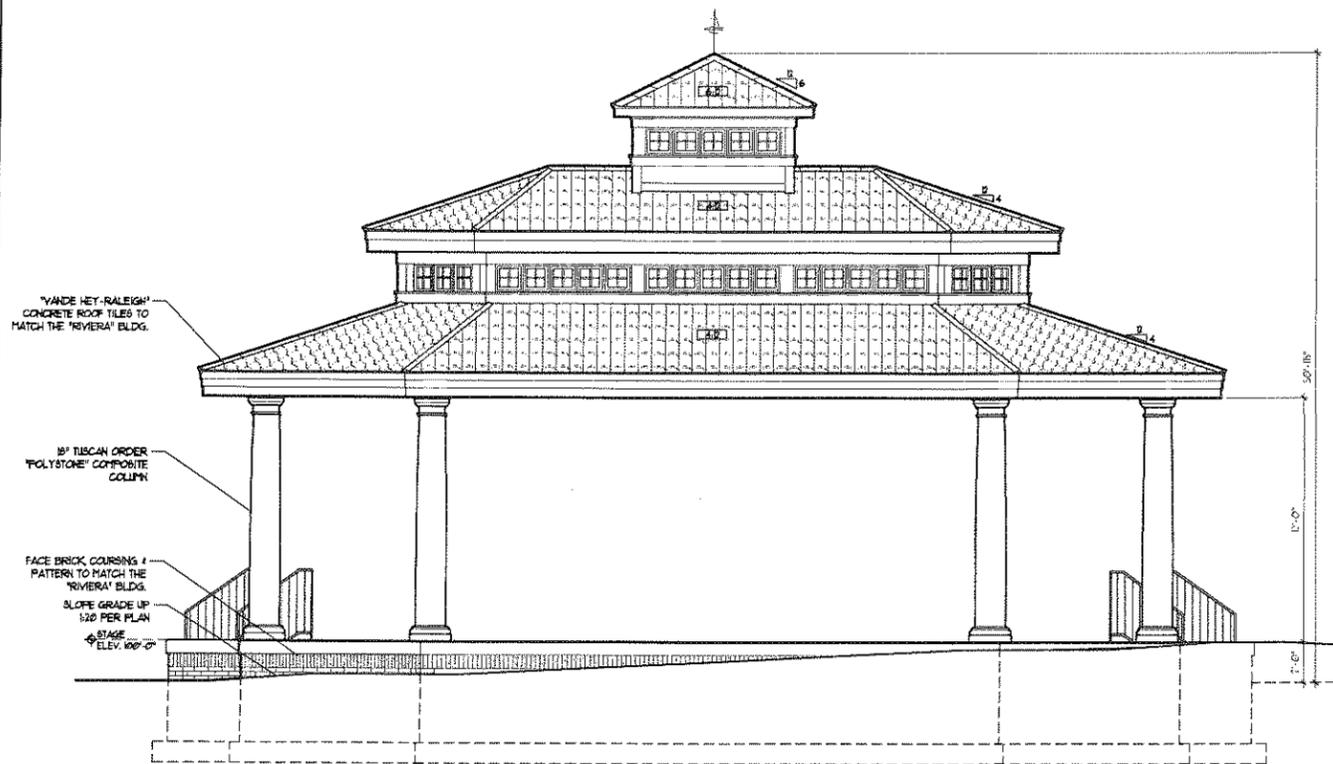
PRELIMINARY	DATE
DESIGN APPROVAL	09.20.13
PERMIT	SHEET
CONSTRUCTION	A-2
	OF



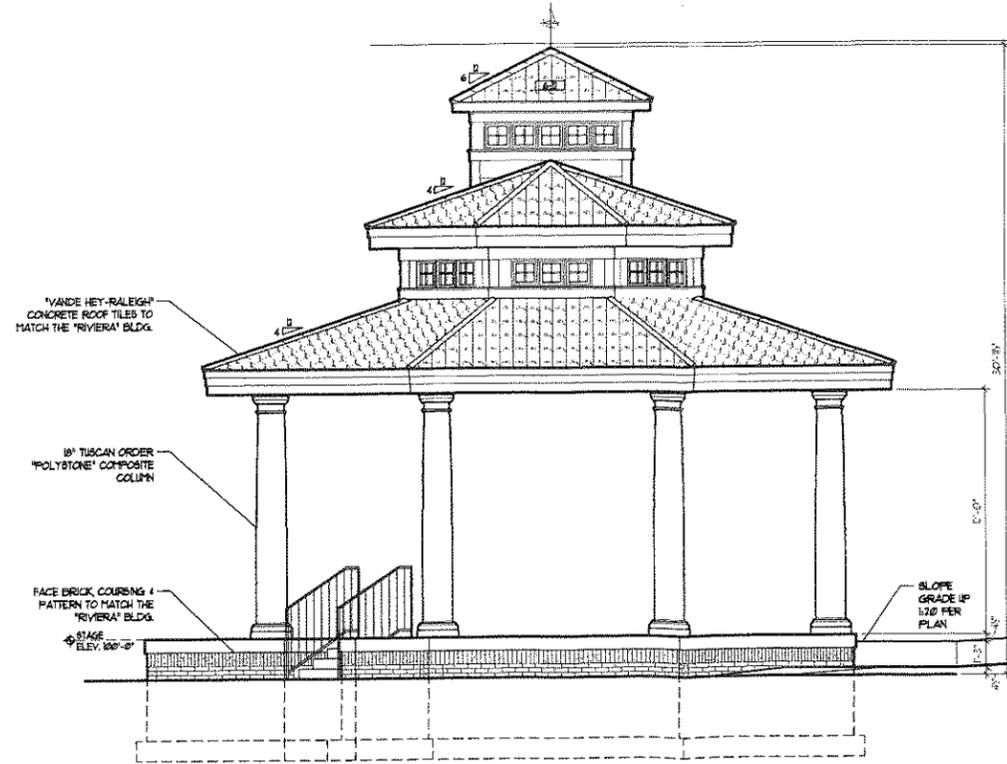
PROPOSED WEST ELEVATION  
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION  
SCALE: 1/4" = 1'-0"



RESOLUTION NO: 14-R15

WHEREAS, the Common Council adopted the updated Comprehensive Plan on December 14, 2009; and

WHEREAS, the City of Lake Geneva faces a myriad of growth issues; and

WHEREAS, the Common Council is anticipating numerous requests for Plan amendments in the coming years, well-before the required update in 2019; and

WHEREAS, several communities within the State of Wisconsin use an annual plan review and amendment process cycle to ensure evaluations and adjustments are handled in a predictable and efficient manner; and

WHEREAS, the Common Council wants to provide a manageable, predictable, and cost effective Comprehensive Plan amendments Process; and,

BE IT THEREFORE RESOLVED, that the Common Council shall use those procedures as set forth in § 66.1001(4) *Wis. Stats.* to amend the Comprehensive Plan. The schedule and requirements for an Annual Comprehensive Plan Amendment Process shall be according to the schedule and requirements as set forth in the Exhibit A.

Adopted this 24<sup>th</sup> day of March, 2014.

APPROVED:

\_\_\_\_\_  
James R. Connors, Mayor

ATTEST:

\_\_\_\_\_  
Timothy Neubeck, City Clerk



# VANDEWALLE & ASSOCIATES INC.

To: City of Lake Geneva  
From: Mike Slavney, FAICP, City Planner  
Date: 27 February 2014  
Re: Annual Comprehensive Plan Amendment Process

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The City adopted the updated Comprehensive Plan on December 14, 2009. As a dynamic community facing a myriad of growth issues, the City is likely to receive requests for Plan amendments in the coming years, well-before the required update in 2019. To provide a manageable, predictable, and cost effective process, the Comprehensive Plan suggests that the City establish a single plan amendment cycle every year.

Several Wisconsin communities use an annual plan review and amendment process cycle to ensure these evaluations and adjustments are handled in a predictable and efficient manner.

The procedures to adopt or amend a Plan are defined under Section 66.1001(4), Wisconsin Statutes. The City process needs to follow these requirements. The timeline on the following page presents a conceptual five-month process to allow for plan amendment requests, consider amendments, and go through the adoption procedures in compliance with the State Statutes.

This approach features a combined meeting of the Plan Commission and Common Council.

During the meeting:

1. the Common Council holds a Public Hearing on the requested Plan amendments;
2. the Plan Commission considers Plan amendment requests and public testimony, and then adopts a resolution making a specific recommendation on each of the requested Plan amendments to the Common Council; and,
3. the Common Council considers the Plan Commission's recommendations, vote on motions for each requested Plan amendment, and finally, adopts an ordinance to officially adopt the Plan amendments per their individually voted motions.

This combined meeting approach allows for the Plan Commission and Council to hear the same public testimony, prior to the Plan Commission's recommendation, and the Council's actions.

## Conceptual Annual Comprehensive Plan Amendment Process

Activity	May	June	July	August	Sept.	Oct.
Plan Commission Announces the Opening of the Plan Amendment Process, and Reviews the Draft Public Participation Plan	<b>3<sup>rd</sup> Mon.</b>					
City Clerk Accepts Plan Amendment Applications	<b>3<sup>rd</sup> Tue.</b>	<b>June 30</b>				
Plan Commission Recommends Adoption of the Public Participation Plan		<b>3<sup>rd</sup> Mon.</b>				
Council Adopts Public Participation Plan			<b>COW: 1<sup>st</sup> Mon. CC: 2<sup>nd</sup> Mon.</b>			
Plan Commission Reviews Plan Amendment Applications (Requests & Staff Analysis included in Plan Comm. Packet.)			<b>3<sup>rd</sup> Mon.</b>	<b>3<sup>rd</sup> Mon.</b>		
Plan Commission Recommends Setting Public Hearing by Council				<b>3<sup>rd</sup> Mon.</b>		
Council Sets Public Hearing (approx. 6 weeks ahead)				<b>4<sup>th</sup> Mon.</b>		
City Clerk Distributes Requested Plan Amendments to Surrounding and Overlapping Jurisdictions				<b>4<sup>th</sup> Wed.</b>		
Public Review Period (Newspaper published Wed.)				<b>4<sup>th</sup> Wed.</b>	<b><i>Min. of 30-days</i></b>	
Joint Meeting: 1. Council Holds Public Hearing; 2. Plan Commission Adopts Resolution Recommending Plan Amendments; and, 3. Council Adopts Ordinance on Recommended Plan Amendments						<b>COW: 1<sup>st</sup> Mon. CC: 2<sup>nd</sup> Mon.</b>
City Clerk Distributes Amended Plan to Surrounding and Overlapping Jurisdictions						<b>After Adop- tion</b>

## **CONDITIONAL USE RESOLUTION 14-R16**

A resolution authorizing the issuance of a Conditional Use Permit to Alex Paredes & Yolanda Frontany, 4843 W. Dakin Street, Chicago, IL, 60641.

WHEREAS, the City Plan Commission has considered the application of Alex Paredes & Yolanda Frontany, 4843 W. Dakin Street, Chicago, IL, 60641; and,

WHEREAS, the City Plan Commission held a Public Hearing thereon pursuant to proper notice given on March 17, 2014; and,

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator be, and is hereby authorized, to issue a Conditional Use Permit to operate a Commercial Indoor Lodging facility in a Planned Development (PD) zoning district located at 328 Center Street, Tax Key No. ZOP 00149 pursuant to City staff review and that the Conditional Use is for the current owner only.

Granted by action of the Common Council of the City of Lake Geneva this 24th day of March, 2014.

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James R. Connors, Mayor

ATTEST:

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Timothy Neubeck, City Clerk

**APPLICATION FOR CONDITIONAL USE**

*City of Lake Geneva*

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

328 Center St  
Lake Geneva WI 53147

NAME AND ADDRESS OF CURRENT OWNER:

Alex Paredes + Yolanda  
4843 W Dakin St Chi, IL 60641

TELEPHONE NUMBER OF CURRENT OWNER: (773) 858-9771

NAME AND ADDRESS OF APPLICANT:

Alex Paredes + Yolanda Frantany  
4843 W Dakin St Chi, IL 60641

TELEPHONE NUMBER OF APPLICANT: (773) 858-9771

PROPOSED CONDITIONAL USE:

allow for residential daily, weekend, and weekly rental

ZONING DISTRICT IN WHICH LAND IS LOCATED: PD - Planned Development

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

None at this time. However will have when approved

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Please see attached Addendum (A)  
Also attached Addendum (B)

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

1/20/2014  
DATE

Alex Paredes  
SIGNATURE OF APPLICANT

**AGREEMENT FOR SERVICES**

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Alex Paredes + Yolanda Fronteny, as applicant/petitioner for:  
Name: Alex Paredes + Yolanda Fronteny  
Address: 4843 W Dakin St  
Chicago IL 60641  
Phone: 773-858-9771

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 20 day of January, 2014.

Alex Paredes  
Printed name of Applicant/Petitioner

[Signature]  
Signature of Applicant/Petitioner



**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

- \_\_\_\_\_ Pre-submittal staff meeting scheduled:  
 Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_\_ Follow-up pre-submittal staff meetings scheduled for:  
 \_\_\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_  
 \_\_\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_  
 \_\_\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_  
 \_\_\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_\_ Application form filed with Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_\_ Application fee of \$ \_\_\_\_\_ received by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_\_ Reimbursement of professional consultant costs agreement executed: Date: \_\_\_\_\_ by: \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

- \_\_\_\_\_ *Initial Packet (5 Copies to Zoning Administrator)* Date: \_\_\_\_\_ by: \_\_\_\_\_  
 ↓  
 \_\_\_\_\_ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: \_\_\_\_\_ by: \_\_\_\_\_  
 ↓

- \_\_\_\_\_ (a) A map of the proposed conditional use:  
 \_\_\_\_\_ Showing all lands for which the conditional use is proposed;  
 \_\_\_\_\_ Showing all other lands within 300 feet of the boundaries of the subject property;  
 \_\_\_\_\_ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);  
 \_\_\_\_\_ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;  
 \_\_\_\_\_ Map and all its parts are clearly reproducible with a photocopier;  
 \_\_\_\_\_ Map size of 11" by 17" and map scale not less than one inch equals 800 ft.  
 \_\_\_\_\_ All lot dimensions of the subject property provided;  
 \_\_\_\_\_ Graphic scale and north arrow provided.
- \_\_\_\_\_ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:
- \_\_\_\_\_ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations (see Site Plan Review checklist);
- \_\_\_\_\_ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as

proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

(e) Written justification for the proposed conditional use:

Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The area is a mixed use of commercial & residential properties. The conditional use is consistent with the use in the area.

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The area is a mixed use of commercial & residential properties. The conditional use is consistent with the use in the area.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

No

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The area where the property is located is a mixed use for both commercial & residential. Fits in well with this area and the city.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

Yes

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Yes

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#### IV.FINAL APPLICATION PACKET INFORMATION

- \_\_\_\_ Receipt of 5 full scale copies in blueline or blackline  
of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics)  
copies of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Certification of complete Final Application Packet and  
required copies to the Zoning Administrator by City Clerk: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Class 2 Legal Notice published on \_\_\_\_\_ and \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Conditional Use recorded with the County Register of Deeds Office: Date: \_\_\_\_\_ by: \_\_\_\_\_

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

- \_\_\_ Pre-submittal staff meeting scheduled:  
 Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
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 \_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_  
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- \_\_\_ Application form filed with Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Application fee of \$ \_\_\_ received by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Reimbursement of professional consultant costs agreement executed: Date: \_\_\_\_\_ by: \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Packet (5 Copies to Zoning Administrator)* Date: \_\_\_\_\_ by: \_\_\_\_\_  
 ↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: \_\_\_\_\_ by: \_\_\_\_\_  
 ↓

- \_\_\_ (a) **A written description of the intended use describing in reasonable detail the:**
  - \_\_\_ Existing zoning district(s) (and proposed zoning district(s) if different);
  - \_\_\_ Land use plan map designation(s);
  - \_\_\_ Current land uses present on the subject property;
  - \_\_\_ Proposed land uses for the subject property (per Section 98-206);
  - \_\_\_ Projected number of residents, employees, and daily customers;
  - \_\_\_ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
  - \_\_\_ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

- \_\_\_ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- \_\_\_ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- \_\_\_ Exterior building and fencing materials (Sections 98-718 and 98-720);
- \_\_\_ Possible future expansion and related implications for points above;
- \_\_\_ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

\_\_\_ (b) A **Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

\_\_\_ (c) A **Property Site Plan** drawing which includes:

- \_\_\_ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- \_\_\_ The date of the original plan and the latest date of revision to the plan;
- \_\_\_ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- \_\_\_ A reduction of the drawing at 11" x 17";
- \_\_\_ A legal description of the subject property;
- \_\_\_ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- \_\_\_ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- \_\_\_ All required building setback lines;
- \_\_\_ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- \_\_\_ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- \_\_\_ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- \_\_\_ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- \_\_\_ The location of all outdoor storage areas and the design of all screening devices;
- \_\_\_ The location, type, height, size and lighting of all signage on the subject property;
- \_\_\_ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- \_\_\_ The location and type of any permanently protected green space areas;
- \_\_\_ The location of existing and proposed drainage facilities;
- \_\_\_ In the legend, data for the subject property on:
  - \_\_\_ Lot Area;
  - \_\_\_ Floor Area;
  - \_\_\_ Floor Area Ratio (b/a);
  - \_\_\_ Impervious Surface Area;
  - \_\_\_ Impervious Surface Ratio (d/a);
  - \_\_\_ Building Height.

\_\_\_ (d) A **Detailed Landscaping Plan** of the subject property:

- \_\_\_ Scale same as main plan (> or equal to 1" equals 100')
- \_\_\_ Map reduction at 11" x 17"

- \_\_\_ Showing the location of all required bufferyard and landscaping areas
- \_\_\_ Showing existing and proposed Landscape Point fencing
- \_\_\_ Showing berm options for meeting said requirements
- \_\_\_ Demonstrating complete compliance with the requirements of Article VI
- \_\_\_ Providing individual plant locations and species, fencing types and heights, and berm heights;

\_\_\_ (e) **A Grading and Erosion Control Plan:**

- \_\_\_ Same scale as the main plan (> or equal to 1" equals 100')
- \_\_\_ Map reduction at 11" x 17")
- \_\_\_ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

\_\_\_ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**

- \_\_\_ Showing finished exterior treatment;
- \_\_\_ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- \_\_\_ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

**NOTE: Initiation of Land Use or Development Activity:** Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

**NOTE: Modification of an Approved Site Plan:** Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

**III.FINAL APPLICATION PACKET INFORMATION**

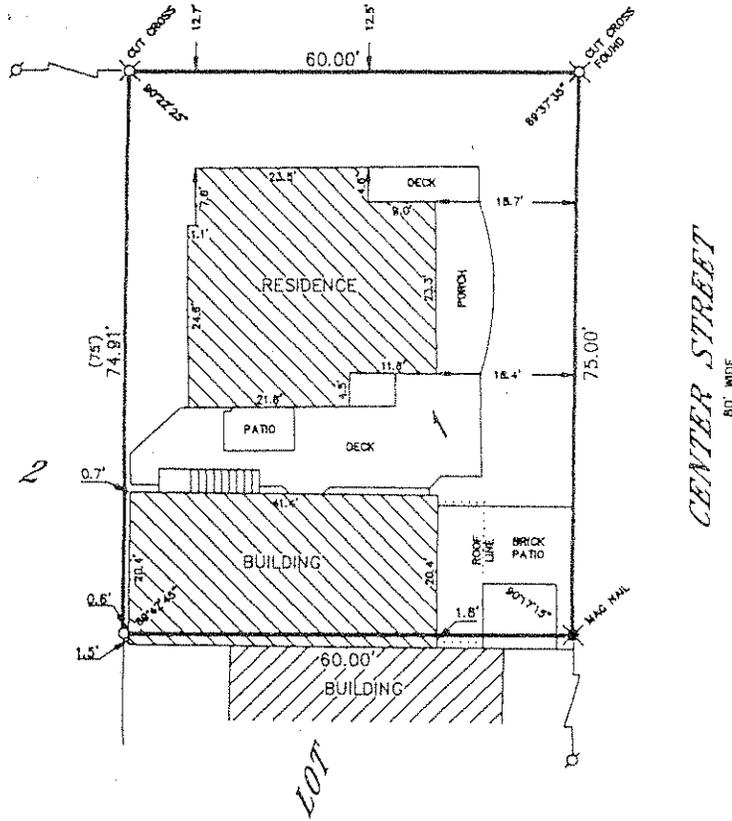
- \_\_\_ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

WALWORTH COUNTY  
SURVEYING & MAPPING

P. O. BOX 1115  
LAKE GENEVA, WISCONSIN  
262-248-0505

WISCONSIN STREET

80' WIDE



PLAT OF SURVEY OF

THE NORTH 75 FEET OF LOT 1, BLOCK 16 OF  
THE ORIGINAL PLAT OF THE VILLAGE OF GENEVA,  
NOW CITY OF LAKE GENEVA, WALWORTH COUNTY,  
WISCONSIN.

ORDERED BY: SHOREWEST REALTORS, INC.  
623 WEST MAIN STREET  
LAKE GENEVA, WISCONSIN  
53147

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED  
PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION  
THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY,  
ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES  
AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY  
FENCES, APPARENT EASEMENTS, ROADWAYS AND VISIBLE ENCROACH-  
MENTS, IF ANY, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF  
THE PROPERTY AND ALSO THOSE WHO PURCHASE MORTGAGE OR  
GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE  
HEREOF.

*Robert M. Baerenthal*  
ROBERT M. BAERENTHAL  
WISCONSIN REGISTERED LAND SURVEYOR, S-1508

*Feb. 18, 2005*  
DATE JOB NO. 7521

NOTE: THIS IS NOT A CERTIFIED COPY UNLESS SEALED.



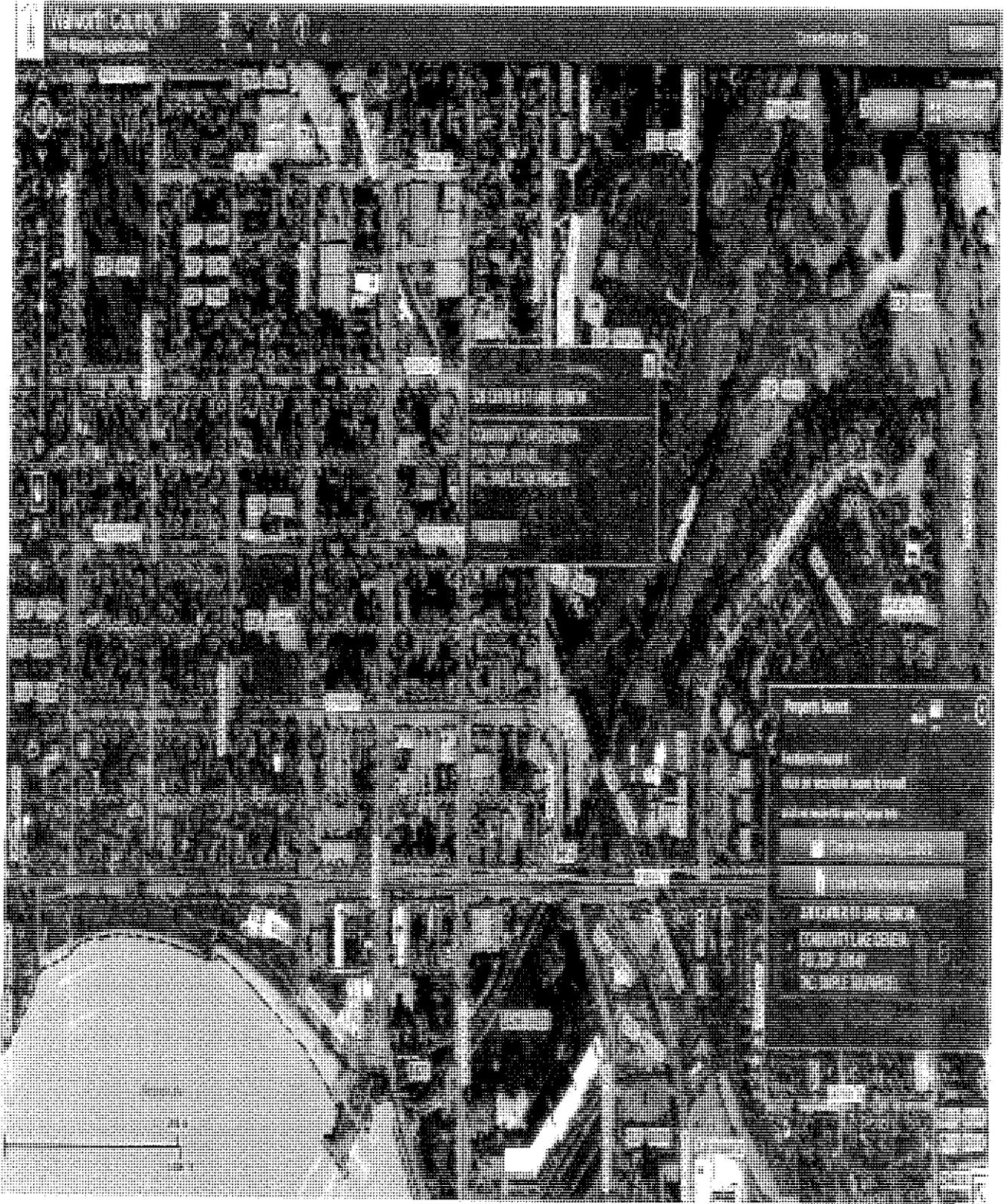
SCALE IN FEET

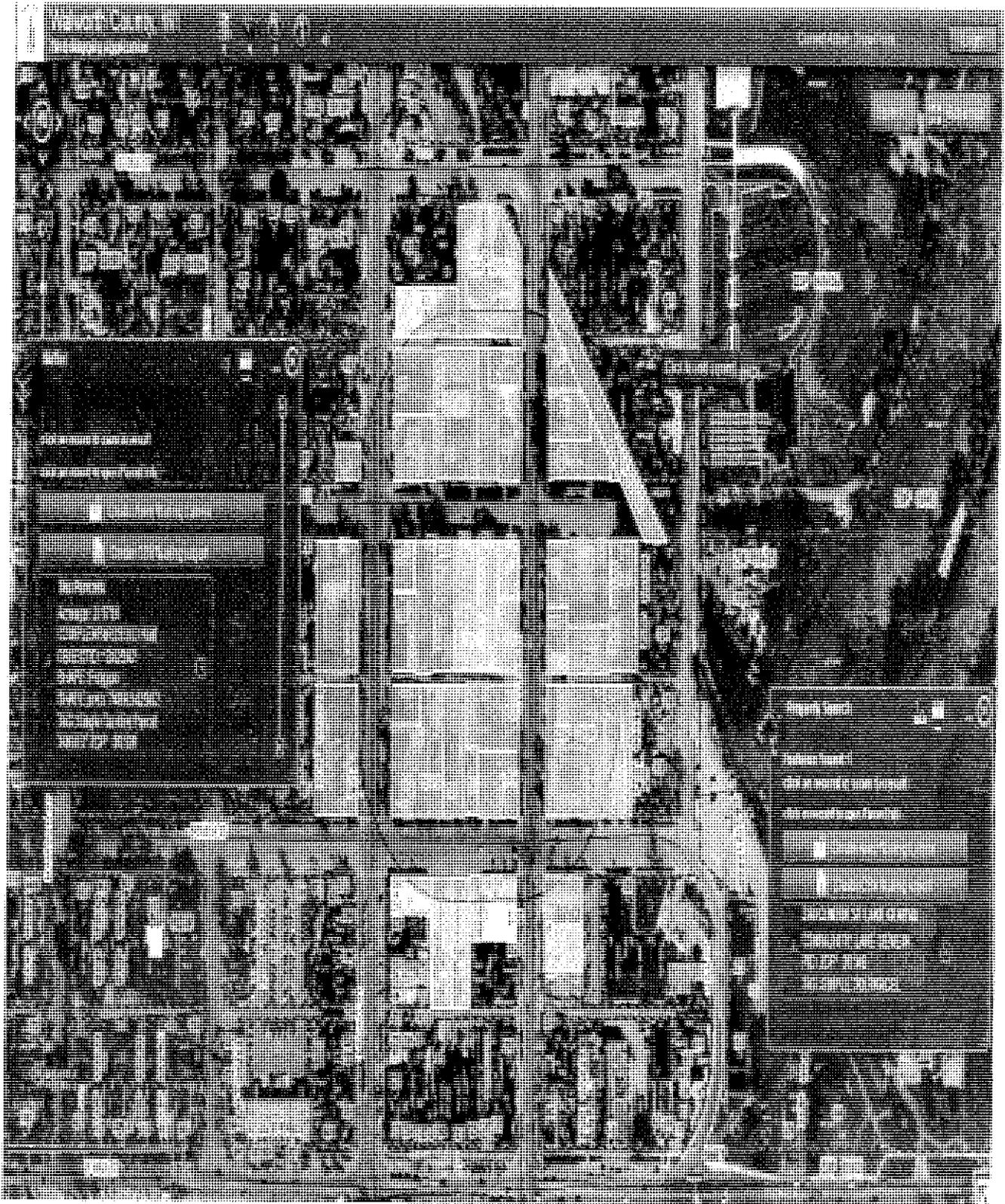


LEGEND

- IRON PIPE FOUND
- ⊖-IRON ROD FOUND
- CONCRETE MONUMENT FOUND
- IRON PIPE PLACED
- (-RECORDED AS







## ADDENDUM (A)

We would like to convert property 328 Center St to a daily, weekly, and weekend residential rental. We came to this decision, because for the past three years we are finding it difficult to find a tenant such as retail, doctor, attorney office that this space would be ideal for. We are in a planned development area; however were still not on Main Street where it seems that most offices and retail business prefer to be. This place sits empty now which never looks good for any area. This venture will only bring in more revenue dollars and tourism to this beautiful city. This residence can accommodate up to eight persons per stay, and will blend in beautifully with the existing neighborhood. Attached you will find Addendum (B). This document is a copy of a signed lease securing private parking spaces needed per zoning for this venture.

Thank you

Alex Paredes

# Addendum (B)

## **REAL ESTATE LEASE**

This Lease Agreement (this "Lease") is made effective as of November 1, 2013, by and between C&T Rental Partnership ("Landlord"), and Alex Paredes ("Tenant"). The parties agree as follows:

**PREMISES.** Landlord, in consideration of the lease payments provided in this Lease, leases to Tenant Four (4) Parking Spaces (the "Premises") located at 622 Wisconsin St., Lake Geneva, Wisconsin 53147.

**TERM.** The lease term will begin on November 01, 2013 and will terminate on November 30, 2015. (Automatic renewal)

**LEASE PAYMENTS.** Tenant shall pay to Landlord monthly installments of \$140.00 per month, payable in advance on the first day of each month. Lease payments shall be made to Landlord at 326 Center St., Lake Geneva, Wisconsin 53147.

**POSSESSION.** Tenant shall be entitled to possession on the first day of the term of this Lease, and shall yield possession to Landlord on the last day of the term of this Lease, unless otherwise agreed by both parties in writing. At the expiration of the term, Tenant shall remove its goods and effects and peaceably yield up the Premises to Landlord in as good condition as when delivered to Tenant, ordinary wear and tear excepted.

**USE OF PREMISES/ABSENCES.** Tenant shall occupy and use the Premises as a vehicle parking area for guests of Alex Paredes.

**PROPERTY INSURANCE.** Landlord and Tenant shall each be responsible to maintain appropriate insurance for their respective interests in the Premises and property located on the Premises.

**MAINTENANCE.** Landlord shall have the responsibility to maintain the Premises in good repair at all times and perform all repairs necessary to satisfy any implied warranty of habitability.

**UTILITIES AND SERVICES.** Landlord shall be responsible for all utilities and services in connection with the Premises.

**TAXES.** Landlord shall pay all real estate taxes which may be levied against the Premises.

**TERMINATION UPON SALE OF PREMISES.** Notwithstanding any other provision of this Lease, Landlord may terminate this lease upon sixty (60) days' written notice to Tenant that the Premises have been sold.

**HABITABILITY.** Tenant has inspected the Premises and fixtures (or has had the Premises inspected on behalf of Tenant), and acknowledges that the Premises are in a reasonable and acceptable condition of habitability for their intended use, and the agreed lease payments are fair and reasonable. If the condition changes so that, in Tenant's opinion, the habitability and rental value of the Premises are adversely affected, Tenant shall promptly provide reasonable notice to Landlord.

**DEFAULTS.** Tenant shall be in default of this Lease if Tenant fails to fulfill any lease obligation or term by which Tenant is bound. Subject to any governing provision of law to the contrary, if Tenant fails to cure any financial obligation within 5 days (or any other obligation within 10 days) after written notice of such default is provided by Landlord to Tenant, Landlord may elect to cure such default and the cost of such action shall be added to Tenant's financial obligations under this Lease. All sums of money or charges required to be paid by Tenant under this Lease shall be additional rent, whether or not such sums or charges are designated as "additional rent". The rights provided by this paragraph are cumulative in nature and are in addition to any other rights afforded by law.

**CUMULATIVE RIGHTS.** The rights of the parties under this Lease are cumulative, and shall not be construed as exclusive unless otherwise required by law.

**NON-SUFFICIENT FUNDS.** Tenant shall be charged the maximum amount allowable under applicable law for each check that is returned to Landlord for lack of sufficient funds.

**DANGEROUS MATERIALS.** Tenant shall not keep or have on the Premises any article or thing of a dangerous, flammable, or explosive character that might substantially increase the danger of fire on the Premises, or that might be considered hazardous by a responsible insurance company, unless the prior written consent of Landlord is obtained and proof of adequate insurance protection is provided by Tenant to Landlord.

**MECHANICS LIENS.** Neither Tenant nor anyone claiming through the Tenant shall have the right to file mechanics liens or any other kind of lien on the Premises and the filing of this Lease constitute notice that such liens are invalid. Further, Tenant agrees to (1) give actual advance notice to any contractors, subcontractors or suppliers of goods, labor, or services that such liens will not be valid, and (2) take whatever additional steps that are necessary in order to keep the premises free of all liens resulting from construction done by or for the Tenant.

**SUBORDINATION OF LEASE.** This Lease is subordinate to any mortgage that now exists, or may be given later by Landlord, with respect to the Premises.

**ASSIGNABILITY/SUBLETTING.** Tenant may not assign or sublease any interest in the Premises, nor assign, mortgage or pledge this Lease, without the prior written consent of Landlord, which shall not be unreasonably withheld.

**NOTICE.** Notices under this Lease shall not be deemed valid unless given or served in writing and forwarded by mail, postage prepaid, addressed to the party at the appropriate address set forth below. Such addresses may be changed from time to time by either party by providing notice as set forth below. Notices mailed in accordance with these provisions shall be deemed received on the third day after posting.

**LANDLORD:**

C&T Rental Partnership  
326 Center St.  
Lake Geneva, WI 53147

**TENANT:**

Alex Paredes  
4843 W Dakin St.  
Chicago, IL 60641

**GOVERNING LAW.** This Lease shall be construed in accordance with the laws of the State of Wisconsin.

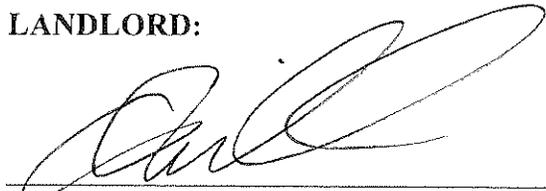
**ENTIRE AGREEMENT/AMENDMENT.** This Lease contains the entire agreement of the parties and there are no other promises, conditions, understandings or other agreements, whether oral or written, relating to the subject matter of this Lease. This Lease may be modified or amended in writing, if the writing is signed by the party obligated under the amendment.

**SEVERABILITY.** If any portion of this Lease shall be held to be invalid or unenforceable for any reason, the remaining provisions shall continue to be valid and enforceable. If a court finds that any provision of this Lease is invalid or unenforceable, but that by limiting such provision it would become valid and enforceable, then such provision shall be deemed to be written, construed, and enforced as so limited.

**WAIVER.** The failure of either party to enforce any provisions of this Lease shall not be construed as a waiver or limitation of that party's right to subsequently enforce and compel strict compliance with every provision of this Lease.

**BINDING EFFECT.** The provisions of this Lease shall be binding upon and inure to the benefit of both parties and their respective legal representatives, successors and assigns.

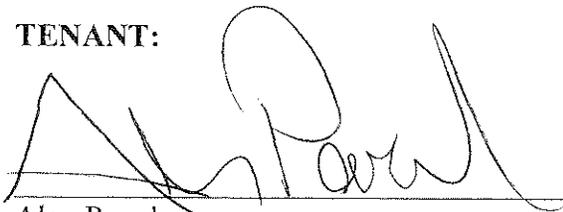
**LANDLORD:**



---

Arthur C. Tillman – C&T Rental Partnership

**TENANT:**



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Alex Paredes

## **CONDITIONAL USE RESOLUTION 14-R17**

A resolution authorizing the issuance of a Conditional Use Permit to John and Barbara Salyer, 456 W Sunset Road, Barrington, IL 60010

WHEREAS, the City Plan Commission has considered the application of John and Barbara Salyer, 456 W Sunset Road, Barrington, IL 60010; and,

WHEREAS, the City Plan Commission held a Public Hearing thereon pursuant to proper notice given on March 17, 2014; and,

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator be, and is hereby authorized, to issue a Conditional Use Permit to install an accessory structure (Pier) closer to the lake shore than the primary structure, within Lakeshore Overlay Zoning District located at 845 Bayview Drive, Lake Geneva, WI 53147, Tax Key No. ZBG 00006 pursuant to City staff review and approval from the Wisconsin Department of Natural Resources.

Granted by action of the Common Council of the City of Lake Geneva this 24th day of March, 2014.

---

James R. Connors, Mayor

ATTEST:

---

Timothy Neubeck, City Clerk

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

845 Bayview Dr. Lake Geneva WI 53147  
Lot 6 Blk 1 Geneva Bay Est. City of Lake Geneva  
SW 1/4 SE

NAME AND ADDRESS OF CURRENT OWNER:

John + Barbara Salyer  
456 W. Sunset Road Barrington IL 60010

TELEPHONE NUMBER OF CURRENT OWNER: 847-271-5876

NAME AND ADDRESS OF APPLICANT:

Reeds Construction LLC  
W3199 S Lake Shore Drive Lake Geneva WI 53147

TELEPHONE NUMBER OF APPLICANT: Jeff Reed  
Shop 262-248-2934 Cell 262-949-5064

PROPOSED CONDITIONAL USE:

Addition to pier Add a New slip 5'x33' slip  
with 5'x19'6" catwalk slip for Boat is 14'x33' with canopy  
and slide h that is there over to the NE

ZONING DISTRICT IN WHICH LAND IS LOCATED: Residential

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Reed's Construction LLC  
W3199 S. Lake Shore Dr.  
Lake Geneva WI 53147

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

put 2 cribs in the water and filled with rock  
then building of Jacks and stringer and decking at the Shop The Haul  
it to the lake and put together

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

1-15-14  
DATE

Jeff Reed  
SIGNATURE OF APPLICANT

## AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Reed's Construction LLC, as applicant/petitioner for:

Name: Jeff Reed

Address: W3199 S Lake Shore Dr.

Lake Geneva WI 53147

Phone: Shop 262-248-2934 cell 262-947-5064

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 15 day of January, 2014.

Jeffery A Reed  
Printed name of Applicant/Petitioner

Jeffery A Reed  
Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

- \_\_\_\_\_ Pre-submittal staff meeting scheduled:  
 Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_\_ Follow-up pre-submittal staff meetings scheduled for:  
 \_\_\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_  
 \_\_\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_  
 \_\_\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_  
 \_\_\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_\_ Application form filed with Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_\_ Application fee of \$ \_\_\_\_\_ received by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_\_ Reimbursement of professional consultant costs agreement executed: Date: \_\_\_\_\_ by: \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

- \_\_\_\_\_ *Initial Packet (5 Copies to Zoning Administrator)* Date: \_\_\_\_\_ by: \_\_\_\_\_
- ↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: \_\_\_\_\_ by: \_\_\_\_\_
- ↓

- \_\_\_\_\_ (a) A map of the proposed conditional use:  
 \_\_\_\_\_ Showing all lands for which the conditional use is proposed;  
 \_\_\_\_\_ Showing all other lands within 300 feet of the boundaries of the subject property;  
 \_\_\_\_\_ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);  
 \_\_\_\_\_ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;  
 \_\_\_\_\_ Map and all its parts are clearly reproducible with a photocopier;  
 \_\_\_\_\_ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;  
 \_\_\_\_\_ All lot dimensions of the subject property provided;  
 \_\_\_\_\_ Graphic scale and north arrow provided.
- \_\_\_\_\_ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:
- \_\_\_\_\_ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations (see Site Plan Review checklist);
- \_\_\_\_\_ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as

proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

(e) Written justification for the proposed conditional use:

\_\_\_\_\_ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

### III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The slip + L will be 13' off lot line  
New slip 5' x 33' with 5' x 19'6" catwalk

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

going to be used as private Boat docking and  
summer housing for Boat

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

No this is all on private property is a pier  
Just like all the other pier on the lake

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

used for private boat dock and fishing off of and  
swimming and for storing the boat for the summer

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

Pier is down on the water + the Home owner is responsible  
for repair + up keep It is made at a building and haul into be  
installed It is stored on private property when removed during th  
winter

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Public does not benefit this is a private pier for private use  
only, will not cost public Anything



**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

\_\_\_ Pre-submittal staff meeting scheduled:

Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

Follow-up pre-submittal staff meetings scheduled for:

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application form filed with Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application fee of \$ \_\_\_\_\_ received by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Reimbursement of professional consultant costs agreement executed: Date: \_\_\_\_\_ by: \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Packet (5 Copies to Zoning Administrator)*

Date: \_\_\_\_\_ by: \_\_\_\_\_

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: \_\_\_\_\_ by: \_\_\_\_\_

↓

(a) A written description of the intended use describing in reasonable detail the:

- \_\_\_ Existing zoning district(s) (and proposed zoning district(s) if different);
- \_\_\_ Land use plan map designation(s);
- \_\_\_ Current land uses present on the subject property;
- \_\_\_ Proposed land uses for the subject property (per Section 98-206);
- \_\_\_ Projected number of residents, employees, and daily customers;
- \_\_\_ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
- \_\_\_ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

- \_\_\_ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- \_\_\_ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- \_\_\_ Exterior building and fencing materials (Sections 98-718 and 98-720);
- \_\_\_ Possible future expansion and related implications for points above;
- \_\_\_ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

\_\_\_ (b) A Small Location Map at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

\_\_\_ (c) A Property Site Plan drawing which includes:

- \_\_\_ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- \_\_\_ The date of the original plan and the latest date of revision to the plan;
- \_\_\_ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- \_\_\_ A reduction of the drawing at 11" x 17";
- \_\_\_ A legal description of the subject property;
- \_\_\_ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- \_\_\_ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- \_\_\_ All required building setback lines;
- \_\_\_ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- \_\_\_ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- \_\_\_ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- \_\_\_ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- \_\_\_ The location of all outdoor storage areas and the design of all screening devices;
- \_\_\_ The location, type, height, size and lighting of all signage on the subject property;
- \_\_\_ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- \_\_\_ The location and type of any permanently protected green space areas;
- \_\_\_ The location of existing and proposed drainage facilities;
- \_\_\_ In the legend, data for the subject property on:
  - \_\_\_ Lot Area;
  - \_\_\_ Floor Area;
  - \_\_\_ Floor Area Ratio (b/a);
  - \_\_\_ Impervious Surface Area;
  - \_\_\_ Impervious Surface Ratio (d/a);
  - \_\_\_ Building Height.

\_\_\_ (d) A Detailed Landscaping Plan of the subject property:

- \_\_\_ Scale same as main plan (> or equal to 1" equals 100')
- \_\_\_ Map reduction at 11" x 17"

- \_\_\_ Showing the location of all required bufferyard and landscaping areas
- \_\_\_ Showing existing and proposed Landscape Point fencing
- \_\_\_ Showing berm options for meeting said requirements
- \_\_\_ Demonstrating complete compliance with the requirements of Article VI
- \_\_\_ Providing individual plant locations and species, fencing types and heights, and berm heights;

\_\_\_ (e) **A Grading and Erosion Control Plan:**

- \_\_\_ Same scale as the main plan (> or equal to 1" equals 100')
- \_\_\_ Map reduction at 11" x 17"
- \_\_\_ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

\_\_\_ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**

- \_\_\_ Showing finished exterior treatment;
- \_\_\_ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- \_\_\_ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

**NOTE: Initiation of Land Use or Development Activity:** Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

**NOTE: Modification of an Approved Site Plan:** Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

**III.FINAL APPLICATION PACKET INFORMATION**

- \_\_\_ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

Notice: Pursuant to chs. 30 and 31, Wis. Stats., ch. 281, Wis. Stats., and s. 283.33, Wis. Stats., this form is used to apply for coverage under the state construction site storm water runoff general permit, and to apply for a state or federal permit or certification for waterway and wetland projects or dam projects. This form and any required attachments constitute the permit application. Failure to complete and submit this application form may result in a fine and/or imprisonment or forfeiture under the provisions of applicable laws including s. 283.91, Wis. Stats. Personal information collected will be used for administrative purposes and may be provided to requesters to the extent required by Wisconsin's Public Records Laws (ss. 19.31-19.39, Wis. Stats.).

Use this form for (check all that apply):

- Work in public waters (DNR - ch. 30, Wis. Stats.)
- Work in waters of the U.S (Corps of Engineers)
- Permit for Wetland Fill (DNR or Corps of Engineers)
- Storm water NOI - New land disturbing construction activity
- Storm water NOI - Renewal FIN # \_\_\_\_\_
- Dam projects (DNR or Corps of Engineers)

Read all instructions provided before completing. If additional space is needed, attach additional pages.

**Section 1: Applicant/Permittee Information**

Applicant Name (Ind., Org. or Entity) <b>John + Barbara Salyer</b>		Authorized Representative		Title	
Mailing Address <b>456 W. Sunset Road</b>		City <b>Barrington</b>	State <b>IL</b>	ZIP Code <b>60010</b>	
Email Address <b>Jwsalyer@aol.com</b>		Phone Number (incl. area code) <b>847-271-5876</b>	FAX Number (incl. area code) <b>847-908-2802</b>		

**Section 2: Landowner Information (complete these fields when project site owner is different than applicant)**

Name (Ind., Org. or Entity) <b>John + Barbara Salyer</b>		Contact Person <b>John Salyer</b>		Title <b>owner</b>	
Mailing Address <b>456 W. Sunset Road</b>		City <b>Barrington</b>	State <b>IL</b>	ZIP Code <b>60010</b>	
Email Address <b>JW salyer@aol.com</b>		Phone Number (incl. area code) <b>847-271-5876</b>	FAX Number (incl. area code) <b>847-908-2802</b>		

**Section 3: Other Contact Information (check one)**

Consultant or Plan Preparer     Contractor     Agent     Other    If Other, specify: \_\_\_\_\_

Name (Ind., Org. or Entity) <b>Reed's Construction LLC</b>		Contact Person <b>Jeff Reed</b>		Title <b>owner</b>	
Mailing Address <b>W3199 South Lake Shore Dr.</b>		City <b>Lake Geneva</b>	State <b>WI</b>	ZIP Code <b>53147</b>	
Email Address <b>info@reedsconstructionllc.com</b>		Phone Number (incl. area code) <b>262-949-5864 cell</b>	FAX Number (incl. area code) <b>262-248-3537</b>		

**Section 4: Project or Site Location**

Project Name <b>John + Barbara Salyer</b>		County <b>Walworth</b>	<input checked="" type="checkbox"/> City <input type="checkbox"/> Town <input type="checkbox"/> Village of <b>Lake Geneva</b>
Location Address/Description <b>845 Bayview Dr Lake Geneva WI 53147</b>			

**Section 5: Location Information**

Create a map depicting the project location or the perimeter of the construction site (land disturbance) and relationship to nearby water resources using the Surface Water Data Viewer <http://dnr.wi.gov/topics/surfacewater/swdvl/> or a 7.5-minute series topographic map. You can print the map and then draw the location on the map.

Provide the section, range, township information and if available, the Latitude and Longitude information.

PLSS (Public Land Survey System) Method					
Quarter-Quarter	Quarter	Section	Township	Range	If this site is not wholly contained on the quarter-quarter section, more description:
SW 1/4 - SE 1/4		35	2 N	17 E	
					Tax parcel Number <b>26B00006</b>

# Water Resources Application for Project Permits

Form 3500-053 (R 9/12)

**Section 6: Waterways and Wetlands (see instructions about potential additional application requirements)**

Name (description if unnamed) of closest waterbodies <b>Lake Geneva</b>	Type <input checked="" type="radio"/> Lake <input type="radio"/> Stream	Special Status <input type="radio"/> ORW/ERW <input type="radio"/> 303(d) listed
----------------------------------------------------------------------------	----------------------------------------------------------------------------	-------------------------------------------------------------------------------------

Yes No Wetlands:

Wetlands will be filled, excavated, or disturbed during construction or as part of this project.

The presence of wetlands has been evaluated using: (check all that apply)

<input type="checkbox"/> Wisconsin Wetlands Inventory	<input type="checkbox"/> Wetland Delineation (attached report)
<input type="checkbox"/> Wetland Locator Tool <a href="http://dnr.wi.gov/topic/Wetlands/locating.html">http://dnr.wi.gov/topic/Wetlands/locating.html</a>	<input type="checkbox"/> Soils (NRCS maps) <input checked="" type="checkbox"/> Other:

Applicant/Project Name: **John Salyer** County **Walworth**

Latitude and Longitude Method (if available)				Method of Determining
Latitude	Degrees	Minutes	Seconds	
				<input type="checkbox"/> GPS <input type="checkbox"/> DNR's Surface Water Data Viewer <input type="checkbox"/> Other:

**Section 7: Project Information (attach additional sheets as necessary)**

Duration:	Anticipated Project Start Date (mm/dd/yyyy) <b>June 2014</b>	Anticipated Project End Date (mm/dd/yyyy) <b>Dec 2014</b>
Photos: Provide photographs of the "before" condition.		Date of Photographs (mm/dd/yyyy)

Narrative of the Project:

Provide a one to two paragraph description of the proposed project, including land and water alterations and intended use(s) of the project.

**wood construction pier with wood crib filled with rock want to add one more slip and move it over.**

**Permitt Number to pier there Now is IP-SF-2012-65-01304**

**Section 8: Attachments and Permit Access (include required attachments for each proposed activity.)**

The following attachments, such as the construction Erosion and Sediment Control (form 3500-052A) and the Post-Construction Storm Water Management (form 3500-052B) for a storm water construction permit application, constitute this permit application: (include all that apply)

Attachment name(s): **Not Disturbing Bahk**

I have obtained a copy of the construction site storm water runoff general permit from the department's internet site: <http://dnr.wi.gov/topic/Stormwater/construction/forms.html>

**Section 9: Certification and Permission**

**Certification:** I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or imprisonment or forfeiture under the provisions of applicable laws.

**Permission:** I hereby give the Department permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) <b>Reed's Construction LLC</b>	Title <b>Owner of Reed</b>	Phone Number <b>262-949-5064</b>
Signature of Applicant <b>[Signature]</b>		Date Signed <b>1-3-14</b>

PLEASE COMPLETE BOTH PAGES 1 & 2 OF THIS APPLICATION. PRINT OR TYPE. The Department requires use of this form for any application filed pursuant to Chapter 30, Wis. Stats. The Department will not consider your application unless you complete and submit this application form. Personally identifiable information on this form will not be used for any other purpose, but it must be made available to requesters under Wisconsin's open records law [s. 19.31-19.39, Wis. Stats.].

1. Applicant (Individual or corporate name) <u>John + Barbara Salyer</u>		2. Agent/Contractor (firm name) <u>Reed's Construction LLC</u>	
Address <u>456 W. sunset Road</u>		Address <u>W3199 south lake shore Dr.</u>	
City, State, Zip Code <u>Barrington IL 60010</u>	Fire Number <u>845</u>	City, State, Zip Code <u>Lake Geneva WI 53121</u>	
Telephone No. (Include area code) <u>847-271-5876</u>	Tax Parcel Number <u>ZGB00006</u>	Telephone No. (Include area code) <u>262-248-2934</u>	<u>262-949-5064</u>

3. If applicant is not owner of the property where the proposed activity will be conducted, provide name and address of owner and include letter of authorization from owner. Owner must be the applicant or co-applicant for structure, diversion and stream realignment activities.

Owner's Name	Address	City, State, Zip Code
--------------	---------	-----------------------

4. Is the applicant a business?  Yes  No

If YES, is the permit or approval you are applying for necessary for you to conduct this business in the State of Wisconsin?  
 Yes  No

If YES, please explain why (attach additional sheets if necessary):

5. Project Location

Address 845 Bayview Dr

Village/City/Town Lake Geneva

Fire Number 845 Tax Parcel Number ZGB00006

Waterway Lake Geneva

County Walworth

Govt Lot 60 OR Block 1/4 SE 1/4, of Section 35,

Township 2 North, Range 17 (East) (West)

6. Adjoining Riparian (Neighboring Waterfront Property Owner) Information

Name of Riparian #1 <u>Robert Renee Larson</u>	Address <u>2403 steck court Naperville IL 60564</u>	City, State, Zip Code <u>Naperville IL 60564</u>
Name of Riparian #2 <u>Peary Nicodem</u>	Address <u>1608 Anthony Lane Maitland, IL</u>	City, State, Zip Code <u>60050</u>

7. Project Information (Attach additional sheets if necessary)

(a) Describe proposed activity (include how this project will be constructed)  
Wood construction pier with wood crib Filled with Rocks

(b) Purpose, need and intended use of project  
Main pier with 2 Boat slip with canopy 2 Jet lift + 1 for Riggins and Boat

(c) I have applied for or received permits from the following agencies: (Check all that apply) Bay for R&B

Municipal  County  Wis. DNR  Corps of Engineers

(d) Date activity will begin if permit is issued ASAP; be completed: Dec 2014

(e) Is any portion of the requested project now complete?  Yes  No

If yes, identify the completed portion on the enclosed drawings and indicate here the date activity was completed:

Permit IP-SE-2012-65-01304

I hereby certify that the information contained herein is true and accurate. I also certify that I am entitled to apply for a permit, or that I am the duly authorized representative or agent of an applicant who is entitled to apply for a permit. Any inaccurate information submitted may result in permit revocation, the imposition of a forfeiture(s) and requirement of restoration.

Signature of Applicant(s) or Duly Authorized Agent <u>Jeff Reed</u>	Date Signed <u>1-3-14</u>
------------------------------------------------------------------------	------------------------------

LEAVE BLANK - FOR RECEIVING AGENCY USE ONLY		
Corps of Engineers Process No.	Wisconsin DNR File No.	
Received By	Date Received	Date Application Was Complete

Drawings of proposed activity should be prepared in accordance with sample drawing.

Location Sketch (Indicate scale)  
Show route to project site: include nearest main road and crossroad.

N 1" = \_\_\_\_\_ ft.

Fire Number 845

Proposed Materials

2 Rock Filled cribs  
All wood will be Doug Fir  
6X6 post + Jacks  
4X6 stringers  
2X8 Decking  
wood crib Filled  
with Field stone

See Next page

Project Plans (Include top view and typical cross sections. Clearly identify features and dimensions or indicate scale.)  
Use additional sheets if necessary.

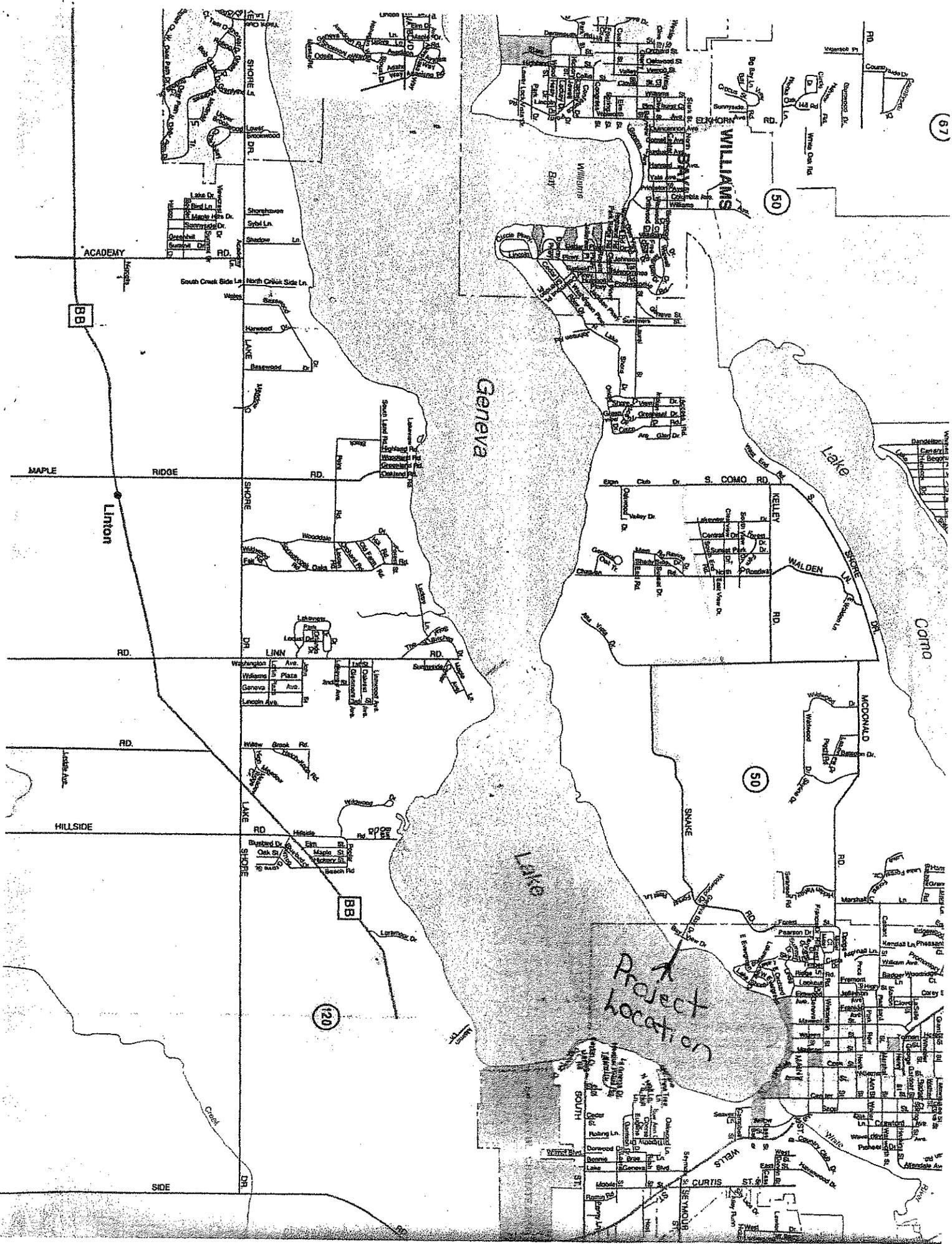
N 1" = \_\_\_\_\_ ft.

Top View

See Next pages

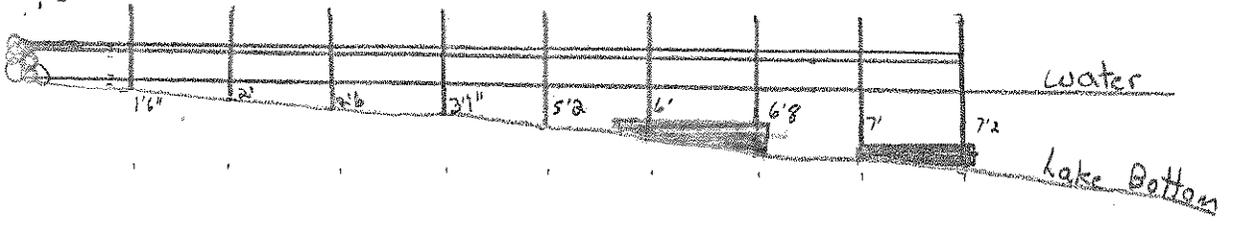
Cross Section

See Next pages



Project Locations

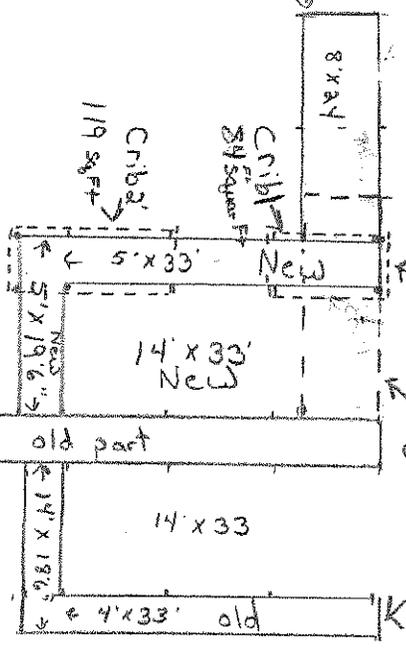
Side View



1" = 80 FT

Top View

Tico Inc  
Lot line  
John Salyer  
66 FT  
34 FT  
ot line



Approved pier plan  
IPSE-2012-65-01304

Water Depths

- 100 7'2"
- 90 7'
- 80 6'8"
- 70 6'
- 60 5'2"
- 50 3'10"
- 40 3'1"
- 30 2'5"
- 20 2'
- 10 1'6"

Robert Larsson

N ↓

Approved Pier Plan  
 Tambora  
 6/4/12

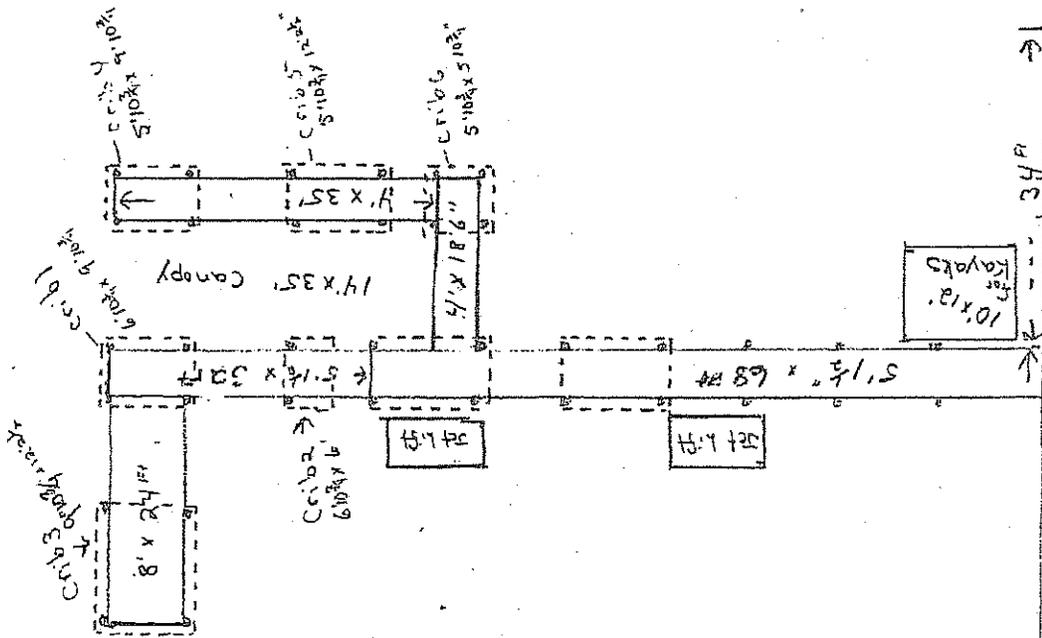
IP-SE-2012-65-01304

Robert + Renee Karsoi

Water Depths

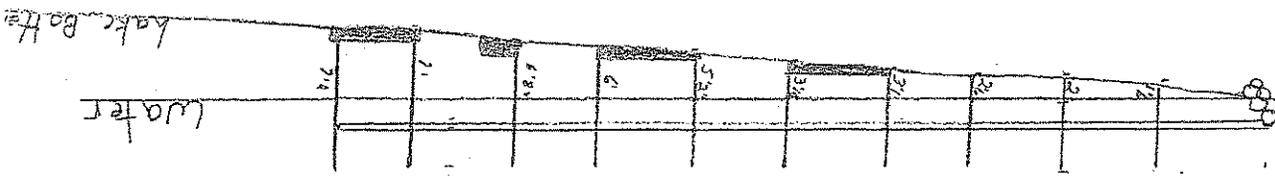
100'	2'
90'	7'
80'	6'8"
70'	6'
60'	5'2"
50'	3'10"
40'	3'1"
30'	2'5"
20'	2'
10'	1'6"

Top View



66 FT ← → 34 FT

John Salver



Boat

Lake Geneva City Treasurer  
626 Geneva St  
Lake Geneva, WI 53147

**WALWORTH COUNTY - STATE OF WISCONSIN  
PROPERTY TAX BILL FOR 2013  
REAL ESTATE**

SALYER JR, JOHN W  
BARBARA A SALYER

Parcel Number: 246 ZGB 00006  
Bill Number: 24988

**Important:** Be sure this description covers your property. Note that this description is for tax bill only and may not be a full legal description. See reverse side for important information.

**Location of Property/Legal Description**  
845 BAYVIEW DR

LOT 6 BLK 1 GENEVA BAY EST. CITY OF LAKE GENEVA  
0.470 ACRES

24988/246 ZGB 00006  
JOHN W SALYER JR  
BARBARA A SALYER  
456 W SUNSET RD  
BARRINGTON IL 60010

Please inform treasurer of address changes.

ASSESSED VALUE LAND 1,360,000	ASSESSED VALUE IMPROVEMENTS 407,500	TOTAL ASSESSED VALUE 1,767,500	AVERAGE ASSMT. RATIO 0.949360154	NET ASSESSED VALUE RATE (Does NOT reflect credits) 0.02362923	NET PROPERTY TAX 41681.69
ESTIMATED FAIR MARKET VALUE LAND 1,432,500	ESTIMATED FAIR MARKET VALUE IMPROVEMENTS 429,200	TOTAL ESTIMATED FAIR MARKET VALUE 1,861,700	<input type="checkbox"/> A star in this box means unpaid prior year taxes.	School taxes also reduced by school levy tax credit 3,624.09	
TAXING JURISDICTION	2012 EST. STATE AIDS ALLOCATED TAX DIST.	2013 EST. STATE AIDS ALLOCATED TAX DIST.	2012 NET TAX	2013 NET TAX	% TAX CHANGE
STATE OF WISCONSIN	0	0	367.72	303.98	-17.3%
WALWORTH COUNTY	193,793	183,438	9,666.80	8,260.89	-14.5%
City of Lake Geneva	776,129	788,244	11,735.79	10,674.62	-9.0%
Sch Lake Geneva J 1	3,127,859	4,049,088	16,153.70	11,253.07	-30.3%
UHS LG-Genoa City	619,993	547,884	7,057.71	8,343.95	18.2%
Gateway Technical	187,770	171,584	3,373.10	2,928.15	-13.2%
<b>TOTAL</b>	<b>4,905,544</b>	<b>5,740,238</b>	<b>48,354.82</b>	<b>41,764.66</b>	<b>-13.6%</b>
FIRST DOLLAR CREDIT			-80.44	-82.97	3.1%
LOTTERY AND GAMING CREDIT			0.00	0.00	0.0%
<b>NET PROPERTY TAX</b>			<b>48,274.38</b>	<b>41,681.69</b>	<b>-13.7%</b>
PAY 1ST INSTALLMENT OF:	\$20,840.85	PAY 2ND INSTALLMENT OF:	\$20,840.84	PAY FULL AMOUNT OF:	\$41,681.69

**TOTAL DUE: \$41,681.69**  
FOR FULL PAYMENT, PAY TO LOCAL TREASURER BY:  
**JANUARY 31, 2014**  
Warning: if not paid by due dates, installment option is lost and total tax is delinquent subject to interest and, if applicable, penalty.  
**Failure to pay on time. See reverse.**

PAY 1ST INSTALLMENT OF: \$20,840.85  
BY JANUARY 31, 2014  
AMOUNT ENCLOSED \_\_\_\_\_  
MAKE CHECK PAYABLE AND MAIL TO:  
LAKE GENEVA CITY TREASURER  
626 GENEVA ST  
LAKE GENEVA, WI 53147  
PIN# 246 ZGB 00006  
SALYER JR, JOHN W  
BILL NUMBER: 24988

PAY 2ND INSTALLMENT OF: \$20,840.84  
BY JULY 31, 2014  
AMOUNT ENCLOSED \_\_\_\_\_  
MAKE CHECK PAYABLE AND MAIL TO:  
WALWORTH COUNTY TREASURER  
100 W WALWORTH PO BOX 1001  
ELKHORN, WI 53121  
PIN# 246 ZGB 00006  
SALYER JR, JOHN W  
BILL NUMBER: 24988

PAY FULL AMOUNT OF: \$41,681.69  
BY JANUARY 31, 2014  
AMOUNT ENCLOSED \_\_\_\_\_  
MAKE CHECK PAYABLE AND MAIL TO:  
LAKE GENEVA CITY TREASURER  
626 GENEVA ST  
LAKE GENEVA, WI 53147  
PIN# 246 ZGB 00006  
SALYER JR, JOHN W  
BILL NUMBER: 24988



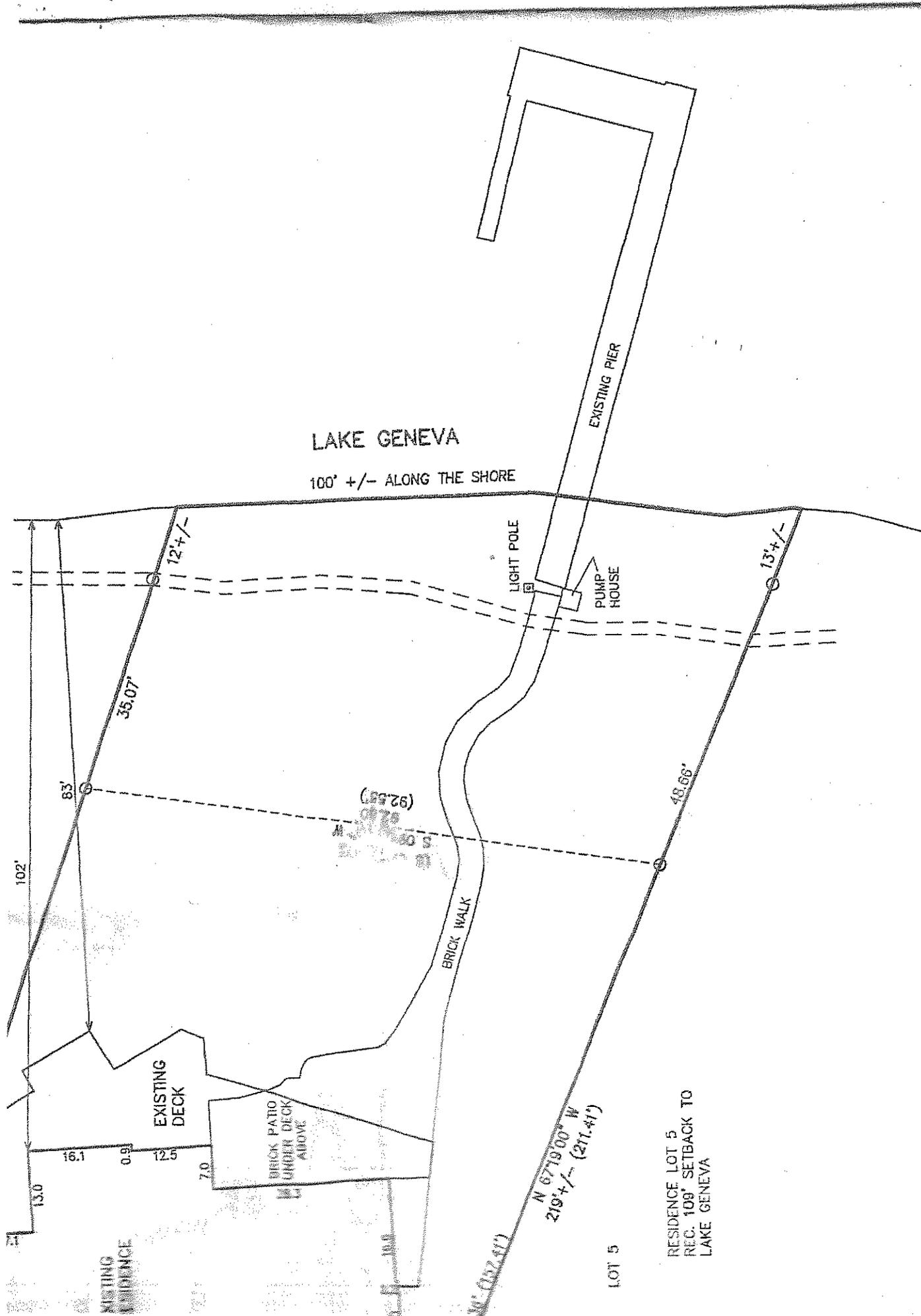
INCLUDE THIS STUB WITH YOUR PAYMENT



INCLUDE THIS STUB WITH YOUR PAYMENT



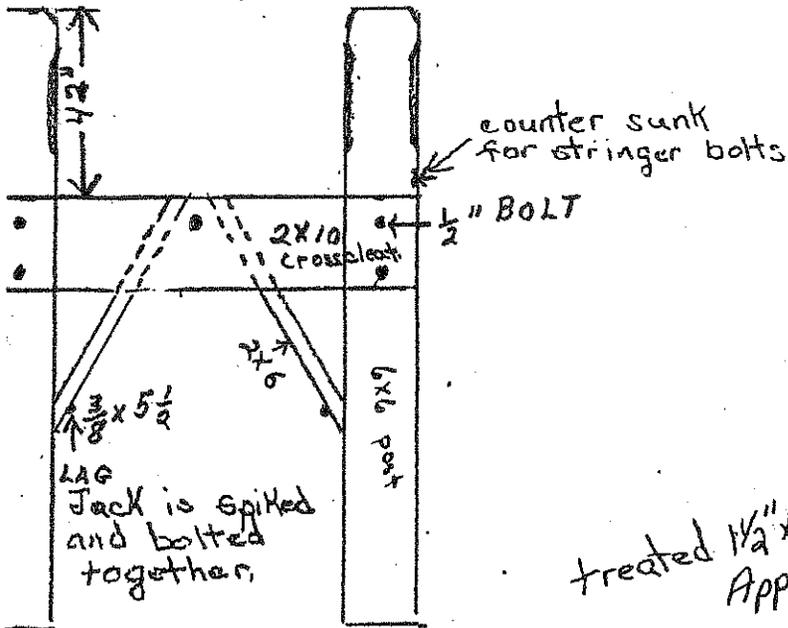
INCLUDE THIS STUB WITH YOUR PAYMENT



NOTE: COPIES OF THIS MAP TO WHICH THE FOLLOWING CERTIFICATE WILL APPLY SHOW SURVEYOR'S SEAL AND SIGNATURE IN RED INK. COPIES BY ANY OTHER MEANS MAY HAVE ALTERATIONS WHICH DO NOT REPRESENT THE SURVEYOR'S WORK PRODUCT.

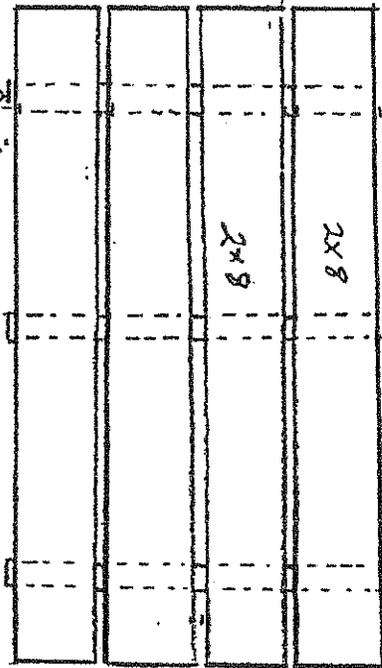


Jack

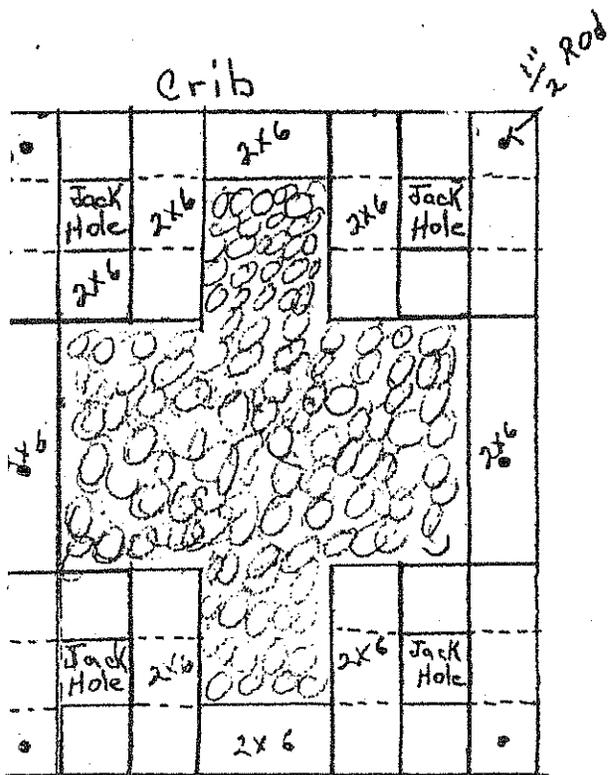


Decking spaced, approximately 1/4"

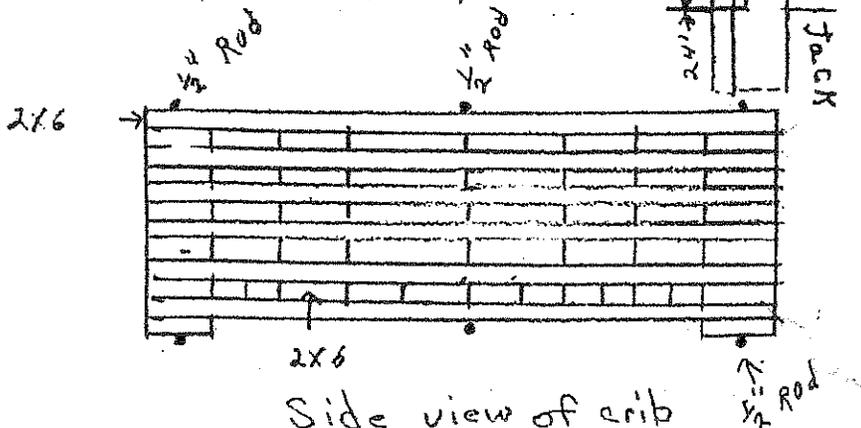
treated 1 1/2" x 3" Approx.



Crib



4x6 stringer with 1/2\" x 1/2\" notched out for decking to lay into



Top view of crib

Side view of crib

Water Resources Application for  
Project Permits

Form 3500-053 (R 9/12)

LEAVE BLANK - AGENCY USE ONLY				
Date Received	Fee Received \$	Construction Site ID#	Docket #	Corps #
Initial screening: Completeness:	<input type="checkbox"/> Historic checked	<input type="checkbox"/> Rare species (NHI) checked	<input type="checkbox"/> Wetlands checked	

# CITY OF LAKE GENEVA ZONING PERMIT

DATE 1-15-14

ZONING PERMIT # \_\_\_\_\_

Owner John Salyer

Applicant Reed's Construction LLC

Address 456 W. Sunset Road  
Barrington IL 60010

Address W3199 South Lakeshore Dr  
Lake Geneva WI 53147

Telephone 847-271-5876

Telephone <sup>JEFF cell</sup> 262-949-5064

TO THE ZONING ADMINISTRATOR: The undersigned hereby applies for a permit to do work herein described and located as shown on this application. The undersigned agrees that all work done will be in accordance with the zoning ordinance and all other ordinances of the **City of Lake Geneva** and with all laws of the State of Wisconsin, applicable to said premises. I expressly grant the zoning administrator, or the zoning administrator's authorized agent, permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done.

Signed Jeff Reed Agent/ Owner

Premises to be occupied as Private Dock

Zoning District \_\_\_\_\_ Parcel Number \_\_\_\_\_

Work consists of: (check)

- |                                          |                                       |                                                       |                                        |
|------------------------------------------|---------------------------------------|-------------------------------------------------------|----------------------------------------|
| <input type="checkbox"/> Addition        | <input type="checkbox"/> Driveway     | <input type="checkbox"/> Earth Moving                 | <input type="checkbox"/> Fence         |
| <input type="checkbox"/> Home Occupation | <input type="checkbox"/> New Building | <input type="checkbox"/> Sign                         | <input type="checkbox"/> Swimming Pool |
| <input type="checkbox"/> Temporary Use   | <input type="checkbox"/> Tree Cutting | <input checked="" type="checkbox"/> Other <u>Pier</u> |                                        |

**Site Development Plan:** The site development plan shall be submitted as a part of the permit application and should contain the following information drawn to scale:

- Provide survey showing dimensions and area of the lot,
- Location of all existing and proposed structures with distances measured from the lot lines,
- Location of the ordinary high watermark or any abutting navigable waterways, boundaries of all wetlands, floodplains and floodways,
- Existing and proposed topographic and drainage features and vegetative cover,
- Location of existing or future access roads or driveways,
- Description of the type of structure; existing and proposed operation or use of the structure or site

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Estimated Cost Of Proposed Site Improvements \$ 7000,00

Conditions of Approval \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Fee.....\$ \_\_\_\_\_

Conditionally Approved (date) \_\_\_\_\_

Signed \_\_\_\_\_  
Zoning Administrator

## **CONDITIONAL USE RESOLUTION 14-R18**

A resolution authorizing the issuance of a Conditional Use Permit to Rodger Fisher, 946 Ceylon Court, Lake Geneva, WI 53147

WHEREAS, the City Plan Commission has considered the application of Rodger Fisher, 946 Ceylon Court, Lake Geneva, WI 53147; and,

WHEREAS, the City Plan Commission held a Public Hearing thereon pursuant to proper notice given on March 17, 2014; and,

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator be, and is hereby authorized, to issue a Conditional Use Permit to install an accessory structure (Pier) closer to the lake shore than the primary structure, within Lakeshore Overlay Zoning District located at 946 Ceylon Court, Lake Geneva, WI 53147, Tax Key No. ZA1240 00002 pursuant to City staff review and approval from the Wisconsin Department of Natural Resources.

Granted by action of the Common Council of the City of Lake Geneva this 24th day of March, 2014.

---

James R. Connors, Mayor

ATTEST:

---

Timothy Neubeck, City Clerk

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

946 Ceylon ct lake Geneva WI 53147

NAME AND ADDRESS OF CURRENT OWNER:

Roger Fisher 946 Ceylon ct. lake Geneva  
WI 53147

TELEPHONE NUMBER OF CURRENT OWNER: 262-249-1756

NAME AND ADDRESS OF APPLICANT:

Reed's Construction LLC  
W3199 S. Lake Shore Drive lake Geneva WI 53147

TELEPHONE NUMBER OF APPLICANT: <sup>JEFF REED</sup> shop 262-248-2934 cell 262-949-5064

PROPOSED CONDITIONAL USE:

Addition to pier. 4' x 30' slip + canopy 14' x 30'

ZONING DISTRICT IN WHICH LAND IS LOCATED: Residential

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Reed's Construction LLC  
W3199 S. Lake Shore Dr.  
Lake Geneva WI 53147

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

put 2 cribs in the water and fill with rocks, then building  
of Jack and stringer and decking at the shop. Then haul it  
to the lake put it together

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

1-15-14  
DATE

Jeff Reed  
SIGNATURE OF APPLICANT

## AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Reeds Construction LLC as applicant/petitioner for:

Name: Jeff Reed

Address: W3199 S. Lake Shore Drive  
Lake Geneva WI 53147

Phone: Shop 262-248-2934 cell 262-949-5064

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 15 day of January, 2014

Jeffery A Reed  
Printed name of Applicant/Petitioner

Jeffery A Reed  
Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

- \_\_\_ Pre-submittal staff meeting scheduled:
  - Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Follow-up pre-submittal staff meetings scheduled for:
  - \_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
  - \_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
  - \_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
  - \_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Application form filed with Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Application fee of \$ \_\_\_\_\_ received by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Reimbursement of professional consultant costs agreement executed: Date: \_\_\_\_\_ by: \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

- Initial Packet (5 Copies to Zoning Administrator) Date: \_\_\_\_\_ by: \_\_\_\_\_
- ↓ Draft Final Packet (1 Copy to Zoning Administrator) Date: \_\_\_\_\_ by: \_\_\_\_\_
- ↓

- \_\_\_ (a) A map of the proposed conditional use:
  - \_\_\_ Showing all lands for which the conditional use is proposed;
  - \_\_\_ Showing all other lands within 300 feet of the boundaries of the subject property;
  - \_\_\_ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
  - \_\_\_ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
  - \_\_\_ Map and all its parts are clearly reproducible with a photocopier;
  - \_\_\_ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
  - \_\_\_ All lot dimensions of the subject property provided;
  - \_\_\_ Graphic scale and north arrow provided.
- \_\_\_ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:
- \_\_\_ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations (see Site Plan Review checklist);
- \_\_\_ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as

proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

(e) Written justification for the proposed conditional use:

Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

### III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?  
The slip will be 13' or more off lot line  
the slip walkway will be 4'x30' and 14' x 30' spot for Boat
2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?  
going to be used as private Boat docking and  
Summer housing for Boat
3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?  
No this is all on private property is a pier  
Just like all the other pier on the lake
4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?  
Used for private boat dock and fishing off of and  
Swimming and for storing the boat for the summer
5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?  
Pier is down on the water + the home owner is responsible  
for repair + up keep It is made at a building and haul into be  
installed It is stored on private property when removed during the  
winter
6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?  
Public does not benefit this is a private pier for private use  
only will not cost public Anything

---

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IV.FINAL APPLICATION PACKET INFORMATION

- \_\_\_\_ Receipt of 5 full scale copies in blueline or blackline  
of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics)  
copies of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Certification of complete Final Application Packet and  
required copies to the Zoning Administrator by City Clerk: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Class 2 Legal Notice published on \_\_\_\_\_ and \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Conditional Use recorded with the County Register of Deeds Office: Date: \_\_\_\_\_ by: \_\_\_\_\_

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

- \_\_\_ Pre-submittal staff meeting scheduled:  
 Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Follow-up pre-submittal staff meetings scheduled for:  
 Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_  
 Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_  
 Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_  
 Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
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- \_\_\_ Application fee of \$ \_\_\_\_\_ received by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Reimbursement of professional consultant costs agreement executed: Date: \_\_\_\_\_ by: \_\_\_\_\_

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- \_\_\_ Initial Packet (5 Copies to Zoning Administrator) Date: \_\_\_\_\_ by: \_\_\_\_\_
- ↓  
 \_\_\_ Draft Final Packet (1 Copy to Zoning Administrator) Date: \_\_\_\_\_ by: \_\_\_\_\_
- ↓

- \_\_\_ (a) A written description of the intended use describing in reasonable detail the:
  - \_\_\_ Existing zoning district(s) (and proposed zoning district(s) if different);
  - \_\_\_ Land use plan map designation(s);
  - \_\_\_ Current land uses present on the subject property;
  - \_\_\_ Proposed land uses for the subject property (per Section 98-206);
  - \_\_\_ Projected number of residents, employees, and daily customers;
  - \_\_\_ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
  - \_\_\_ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

- \_\_\_ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- \_\_\_ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- \_\_\_ Exterior building and fencing materials (Sections 98-718 and 98-720);
- \_\_\_ Possible future expansion and related implications for points above;
- \_\_\_ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

\_\_\_ \_\_\_ (b) A Small Location Map at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

\_\_\_ \_\_\_ (c) A Property Site Plan drawing which includes:

- \_\_\_ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- \_\_\_ The date of the original plan and the latest date of revision to the plan;
- \_\_\_ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- \_\_\_ A reduction of the drawing at 11" x 17";
- \_\_\_ A legal description of the subject property;
- \_\_\_ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- \_\_\_ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- \_\_\_ All required building setback lines;
- \_\_\_ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- \_\_\_ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- \_\_\_ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- \_\_\_ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- \_\_\_ The location of all outdoor storage areas and the design of all screening devices;
- \_\_\_ The location, type, height, size and lighting of all signage on the subject property;
- \_\_\_ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- \_\_\_ The location and type of any permanently protected green space areas;
- \_\_\_ The location of existing and proposed drainage facilities;
- \_\_\_ In the legend, data for the subject property on:
  - \_\_\_ Lot Area;
  - \_\_\_ Floor Area;
  - \_\_\_ Floor Area Ratio (b/a);
  - \_\_\_ Impervious Surface Area;
  - \_\_\_ Impervious Surface Ratio (d/a);
  - \_\_\_ Building Height.

\_\_\_ \_\_\_ (d) A Detailed Landscaping Plan of the subject property:

- \_\_\_ Scale same as main plan (> or equal to 1" equals 100')
- \_\_\_ Map reduction at 11" x 17"

- \_\_\_ Showing the location of all required bufferyard and landscaping areas
- \_\_\_ Showing existing and proposed Landscape Point fencing
- \_\_\_ Showing berm options for meeting said requirements
- \_\_\_ Demonstrating complete compliance with the requirements of Article VI
- \_\_\_ Providing individual plant locations and species, fencing types and heights, and berm heights;

\_\_\_ (e) **A Grading and Erosion Control Plan:**

- \_\_\_ Same scale as the main plan (> or equal to 1" equals 100')
- \_\_\_ Map reduction at 11" x 17"
- \_\_\_ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

\_\_\_ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**

- \_\_\_ Showing finished exterior treatment;
- \_\_\_ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- \_\_\_ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

**NOTE: Initiation of Land Use or Development Activity:** Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

**NOTE: Modification of an Approved Site Plan:** Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

**III. FINAL APPLICATION PACKET INFORMATION**

- \_\_\_ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

# CITY OF LAKE GENEVA ZONING PERMIT

DATE 1-15-14

ZONING PERMIT # \_\_\_\_\_

Owner Roger Fisher

Applicant Reed's Construction LLC

Address 946 Ceylon Ct  
Lake Geneva WI 53147

Address W3199 South Lake Shore Dr  
Lake Geneva WI 53147

Telephone 262-249-1756

Telephone 262-248-2934

TO THE ZONING ADMINISTRATOR: The undersigned hereby applies for a permit to do work herein described and located as shown on this application. The undersigned agrees that all work done will be in accordance with the zoning ordinance and all other ordinances of the **City of Lake Geneva** and with all laws of the State of Wisconsin, applicable to said premises. I expressly grant the zoning administrator, or the zoning administrator's authorized agent, permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done.

Signed Jeff Reed Agent/ Owner

Premises to be occupied as Private Dock

Zoning District \_\_\_\_\_ Parcel Number \_\_\_\_\_

Work consists of: (check)

- |                                          |                                       |                                                       |                                        |
|------------------------------------------|---------------------------------------|-------------------------------------------------------|----------------------------------------|
| <input type="checkbox"/> Addition        | <input type="checkbox"/> Driveway     | <input type="checkbox"/> Earth Moving                 | <input type="checkbox"/> Fence         |
| <input type="checkbox"/> Home Occupation | <input type="checkbox"/> New Building | <input type="checkbox"/> Sign                         | <input type="checkbox"/> Swimming Pool |
| <input type="checkbox"/> Temporary Use   | <input type="checkbox"/> Tree Cutting | <input checked="" type="checkbox"/> Other <u>pier</u> |                                        |

**Site Development Plan:** The site development plan shall be submitted as a part of the permit application and should contain the following information drawn to scale:

- Provide survey showing dimensions and area of the lot,
- Location of all existing and proposed structures with distances measured from the lot lines,
- Location of the ordinary high watermark or any abutting navigable waterways, boundaries of all wetlands, floodplains and floodways,
- Existing and proposed topographic and drainage features and vegetative cover,
- Location of existing or future access roads or driveways,
- Description of the type of structure; existing and proposed operation or use of the structure or site

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Estimated Cost Of Proposed Site Improvements \$ 5 6000.00

Conditions of Approval \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Fee.....\$ \_\_\_\_\_

Conditionally Approved (date) \_\_\_\_\_

Signed \_\_\_\_\_  
Zoning Administrator

Notice: Pursuant to chs. 30 and 31, Wis. Stats., ch. 281, Wis. Stats. and s. 283.33, Wis. Stats., this form is used to apply for coverage under the state construction site storm water runoff general permit, and to apply for a state or federal permit or certification for waterway and wetland projects or dam projects. This form and any required attachments constitute the permit application. Failure to complete and submit this application form may result in a fine and/or imprisonment or forfeiture under the provisions of applicable laws including s. 283.91, Wis. Stats. Personal information collected will be used for administrative purposes and may be provided to requesters to the extent required by Wisconsin's Public Records Laws (ss. 19.31-19.39, Wis. Stats.).

Use this form for (check all that apply):

- Work in public waters (DNR - ch. 30, Wis. Stats.)
- Work in waters of the U.S (Corps of Engineers)
- Permit for Wetland Fill (DNR or Corps of Engineers)
- Storm water NOI - New land disturbing construction activity
- Storm water NOI - Renewal FIN # \_\_\_\_\_
- Dam projects (DNR or Corps of Engineers)

Read all instructions provided before completing. If additional space is needed, attach additional pages.

**Section 1: Applicant/Permittee Information**

Applicant Name (Ind., Org. or Entity) Roger Fisher		Authorized Representative Roger Fisher		Title owner	
Mailing Address 946 Ceylon ct.		City Lake Geneva		State WI	ZIP Code 53147
Email Address rfisher@rockford.ethan.allen.com		Phone Number (incl. area code) 262-249-1756		FAX Number (incl. area code)	

**Section 2: Landowner Information (complete these fields when project site owner is different than applicant)**

Name (Ind., Org. or Entity) Roger Fisher		Contact Person Roger Fisher		Title owner	
Mailing Address 946 Ceylon ct		City Lake Geneva		State WI	ZIP Code 53147
Email Address		Phone Number (incl. area code) 262-249-1756		FAX Number (incl. area code)	

**Section 3: Other Contact Information (check one)**

- Consultant or Plan Preparer     Contractor     Agent     Other    If Other, specify:

Name (Ind., Org. or Entity) Reed's Construction LLC		Contact Person Jeff Reed		Title owner	
Mailing Address W3199 South Lake Shore Dr.		City Lake Geneva		State WI	ZIP Code 53147
Email Address info@reed'sconstructionllc.com		Phone Number (incl. area code) 262-949-3064 cell 262-248-2934		FAX Number (incl. area code) 262-248-3537	

**Section 4: Project or Site Location**

Project Name Roger Fisher		County Walworth		<input checked="" type="checkbox"/> City <input type="checkbox"/> Town <input type="checkbox"/> Village of Lake Geneva	
Location Address/Description 946 Ceylon ct. Lake Geneva WI 53147					

**Section 5: Location Information**

Create a map depicting the project location or the perimeter of the construction site (land disturbance) and relationship to nearby water resources using the Surface Water Data Viewer <http://dnr.wi.gov/topic/surfacewater/swdvw/> or a 7.5-minute series topographic map. You can print the map and then draw the location on the map.

Provide the section, range, township information and if available, the Latitude and Longitude information.

**PLSS (Public Land Survey System) Method**

Quarter-Quarter Gove Lot 2	Quarter	Section 1	Township N	Range 17	<input checked="" type="checkbox"/> E <input type="checkbox"/> W	If this site is not wholly contained on the quarter-quarter section, more description: Tax Key ZA124000002
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**Water Resources Application for Project Permits**

Form 3500-053 (R 9/12)

**Section 6: Waterways and Wetlands (see instructions about potential additional application requirements)**

Name (description if unnamed) of closest waterbodies <u>Lake Geneva</u>	Type <input checked="" type="radio"/> Lake <input type="radio"/> Stream	Special Status <input type="radio"/> ORW/ERW <input type="radio"/> 303(d) listed
----------------------------------------------------------------------------	----------------------------------------------------------------------------	-------------------------------------------------------------------------------------

Yes No Wetlands:

Wetlands will be filled, excavated, or disturbed during construction or as part of this project.

The presence of wetlands has been evaluated using: (check all that apply)

- Wisconsin Wetlands Inventory       Wetland Delineation (attached report)  
 Wetland Locator Tool       Soils       Other:  
<http://dnr.wi.gov/topic/Wetlands/locating.html>       (NRCS maps)

Applicant/Project Name: <u>Roger Fisher</u>	County: <u>Walworth</u>
---------------------------------------------	-------------------------

**Latitude and Longitude Method (if available)**

	Degrees	Minutes	Seconds	Method of Determining
Latitude				<input type="checkbox"/> GPS <input type="checkbox"/> DNR's Surface Water Data Viewer <input type="checkbox"/> Other:
Longitude				

**Section 7: Project Information (attach additional sheets as necessary)**

Duration:	Anticipated Project Start Date (mm/dd/yyyy) <u>June 2014</u>	Anticipated Project End Date (mm/dd/yyyy) <u>Dec 2014</u>
Photos: Provide photographs of the "before" condition.	Date of Photographs (mm/dd/yyyy)	

Narrative of the Project:

Provide a one to two paragraph description of the proposed project, including land and water alterations and intended use(s) of the project. wood construction pier add 1 slip to pier wich will give Him 3 Boat slips + Old permitt 3-SE-99-0020

**Section 8: Attachments and Permit Access (include required attachments for each proposed activity.)**

The following attachments, such as the construction Erosion and Sediment Control (form 3500-052A) and the Post-Construction Storm Water Management (form 3500-052B) for a storm water construction permit application, constitute this permit application: (include all that apply)

Attachment name(s):

Not Disturbing Bank

I have obtained a copy of the construction site storm water runoff general permit from the department's internet site: <http://dnr.wi.gov/topic/Stormwater/construction/forms.html>

**Section 9: Certification and Permission**

**Certification:** I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or imprisonment or forfeiture under the provisions of applicable laws.

**Permission:** I hereby give the Department permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) <u>Reed's Construction LLC</u>	Title <u>owner of Reed's</u>	Phone Number <u>262-949-5064</u>
Signature of Applicant <u>Jeff Reed</u>		Date Signed <u>1-3-14</u>

PLEASE COMPLETE BOTH PAGES 1 & 2 OF THIS APPLICATION. PRINT OR TYPE. The Department requires use of this form for any application filed pursuant to Chapter 30, Wis. Stats. The Department will not consider your application unless you complete and submit this application form. Personally identifiable information on this form will not be used for any other purpose, but it must be made available to requesters under Wisconsin's open records law [s. 19.31-19.39, Wis. Stats.].

1. Applicant (Individual or corporate name) <u>Roger Fisher</u> Address <u>946 Ceylon Ct</u> City, State, Zip Code <u>lake Geneva</u> Telephone No. (Include area code) <u>262-249-1756</u>		2. Agent/Contractor (firm name) <u>Reed's Construction LLC</u> Address <u>W3199 South Lake Shore Dr.</u> City, State, Zip Code <u>lake Geneva WI</u> Telephone No. (Include area code) cell Jeff <u>262-248-2934</u> <u>262-949-5064</u>	
Fire Number <u>946</u>	Tax Parcel Number <u>ZA124000002</u>	Fire Number <u>946</u>	Tax Parcel Number <u>ZA124000002</u>

3. If applicant is not owner of the property where the proposed activity will be conducted, provide name and address of owner and include letter of authorization from owner. Owner must be the applicant or co-applicant for structure, diversion and stream realignment activities.

Owner's Name	Address	City, State, Zip Code

4. Is the applicant a business?  Yes  No

If YES, is the permit or approval you are applying for necessary for you to conduct this business in the State of Wisconsin?  
 Yes  No

If YES, please explain why (attach additional sheets if necessary):

5. Project Location

Address 946 Ceylon Ct  
 Village/City/Town lake Geneva  
 Fire Number 946 Tax Parcel Number ZA124000002  
 Waterway lake Geneva  
 County Walworth  
 Govt. Lot 2 OR 1/4 SW 1/4 of Section 1,  
 Township 1 North, Range 17 (East) (West)

6. Adjoining Riparian (Neighboring Waterfront Property Owner) Information

Name of Riparian #1	Address	City, State, Zip Code
<u>Walter Borkiv</u>	<u>2901 Finley Road suite 113 Downers Grove IL</u>	<u>60515</u>
Name of Riparian #2	Address	City, State, Zip Code
<u>Daniel Ferguson</u>	<u>1300 Third street S. Naples Florida</u>	<u>33040</u>

7. Project Information (Attach additional sheets if necessary)

(a) Describe proposed activity (include how this project will be constructed)  
Wood construction pier with wood crib Filled with Rock

(b) Purpose, need and intended use of project  
To Add 1 more Boat slip with a Canopy

(c) I have applied for or received permits from the following agencies: (Check all that apply)  
 Municipal     County     Wis. DNR     Corps of Engineers

(d) Date activity will begin if permit is issued ASAP; be completed: Dec 2014

(e) Is any portion of the requested project now complete? Pier Permit 3-SE-99-0020  Yes  No  
 If yes, identify the completed portion on the enclosed drawings and indicate here the date activity was completed:

I hereby certify that the information contained herein is true and accurate. I also certify that I am entitled to apply for a permit, or that I am the duly authorized representative or agent of an applicant who is entitled to apply for a permit. Any inaccurate information submitted may result in permit revocation, the imposition of a forfeiture(s) and requirement of restoration.

Signature of Applicant(s) or Duly Authorized Agent <u>Jeff Reed</u>	Date Signed <u>1-3-14</u>
------------------------------------------------------------------------	------------------------------

<b>LEAVE BLANK - FOR RECEIVING AGENCY USE ONLY</b>		
Corps of Engineers Process No.	Wisconsin DNR File No.	
Received By	Date Received	Date Application Was Complete

State / Federal Application for Water Regulatory Permits and Approvals

Form 3500-053 (R 4/01)

Page 2 of 2

<p>Drawings of proposed activity should be prepared in accordance with sample drawing.</p>	<p>Location Sketch (Indicate scale) Show route to project site: include nearest main road and crossroad.</p> <p>N 1" = _____ ft. <span style="float: right;">Fire Number <u>946</u></span></p>
<p>Proposed Materials</p> <p>2 Rock Filled crib All wood will be Doug Fir 6x6 post + Jack 6x6 stringer 2x8 Decking Wood crib Filled with Field Stone</p>	<p style="text-align: center; font-size: 2em;">See Next page</p>

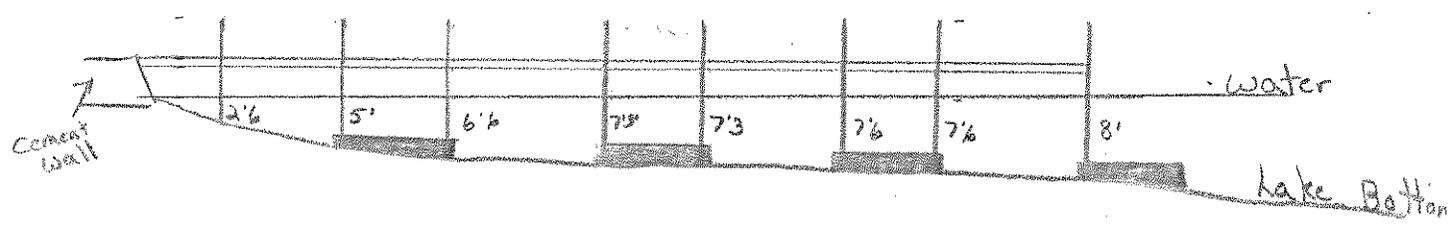
Project Plans (Include top view and typical cross sections. Clearly identify features and dimensions or indicate scale.)  
Use additional sheets if necessary.

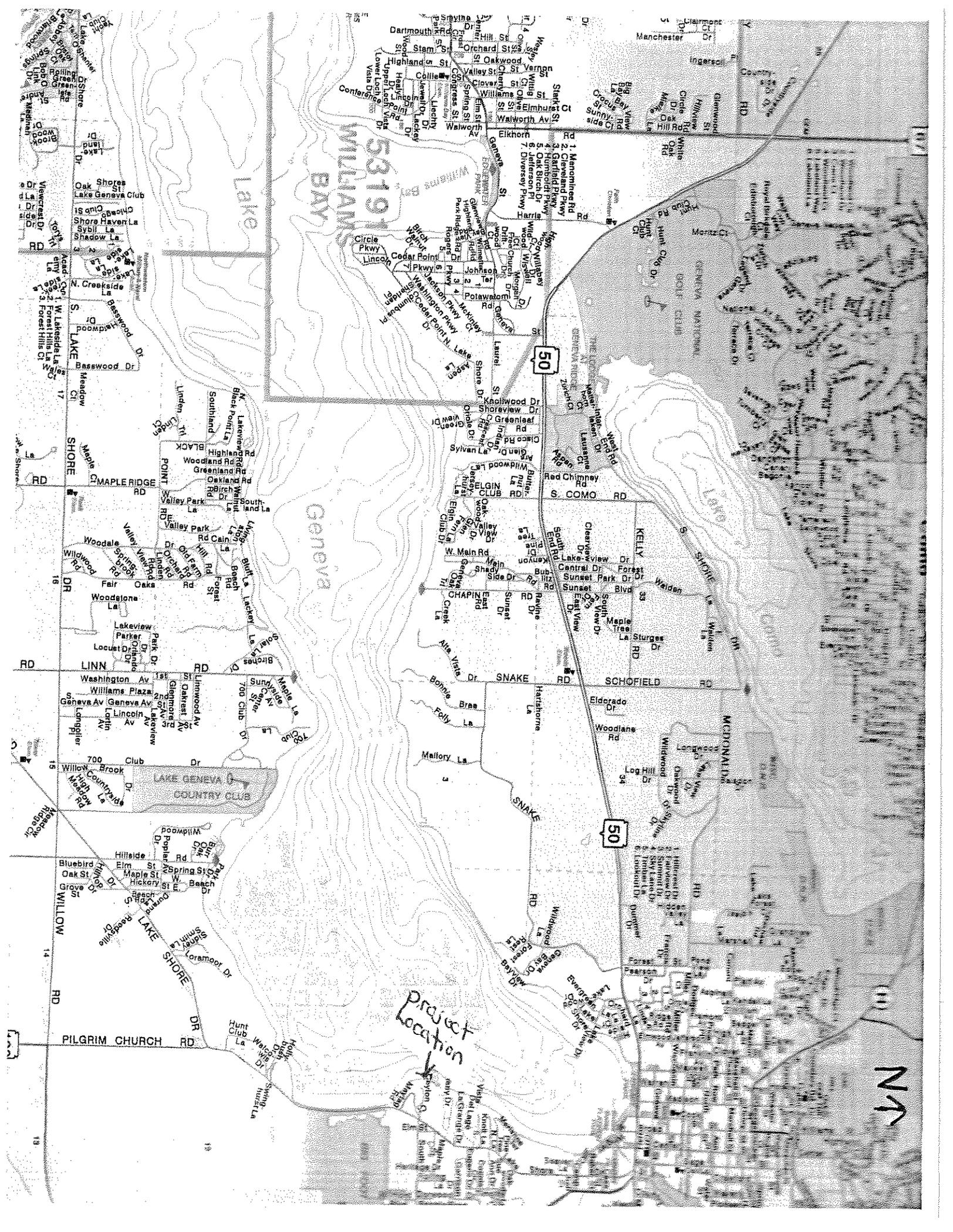
N 1" = \_\_\_\_\_ ft. Top View

▲

See Next pages

1" = 20ft Cross Section





53191  
WILLAM BAY

LAKE

GENEVA

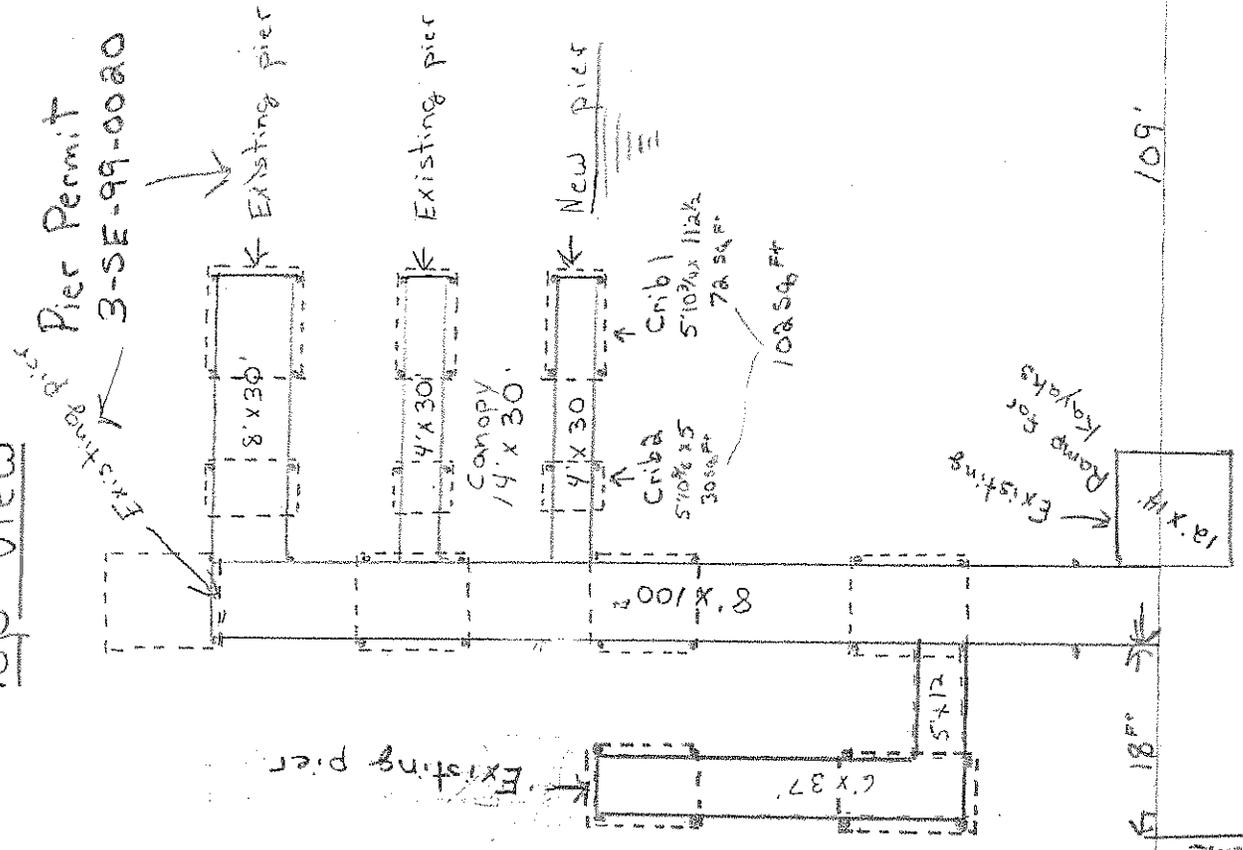
Project Location



N →

Scale 1" = 20 Ft

Top View



- Water Dept
- 102' 8 Ft
- 90' 7'8"
- 80' 7'6"
- 70' 7'4"
- 60' 7'3"
- 50' 7'3"
- 40' 6'6"
- 30' 5'
- 20' 4 Ft
- 10' 2'0"

at line

109'

12' x 14'

18'

at line

Walter Bratkiv

Roger Fisher

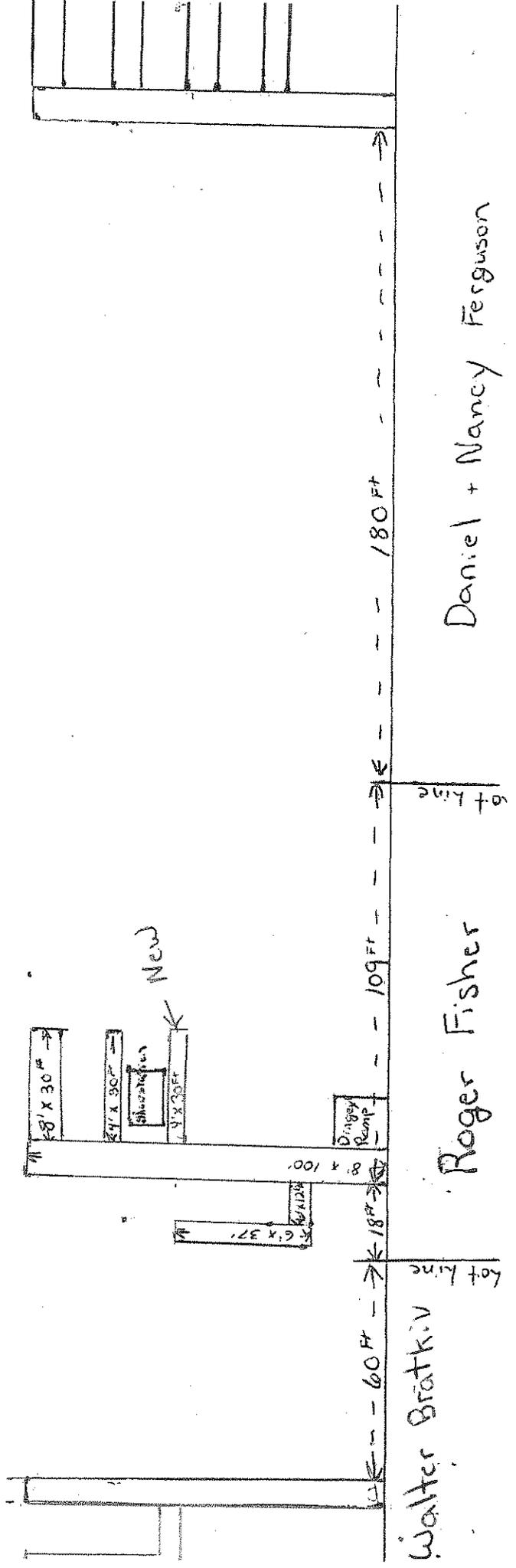
Daniel Ferguson

scale  
1" = 40 ft

N → ⊕

Past

New



Daniel + Nancy Ferguson

Roger Fisher

Walter Bratkiv

Lake Geneva City Treasurer  
626 Geneva St  
Lake Geneva, WI 53147

**WALWORTH COUNTY - STATE OF WISCONSIN  
PROPERTY TAX BILL FOR 2013  
REAL ESTATE**

VICTORIA SHORES, LLC



Parcel Number: ZA124000002  
Bill Number: 23613

**Important:** Be sure this description covers your property. Note that this description is for tax bill only and may not be a full legal description. See reverse side for important information.

**Location of Property/Legal Description**  
946 CEYLON CT

LOT 2 CERT. SURVEY NO. 1240 RECORDED IN VOL 5 CS PG 359 WCR. W 1/2 SEC 1 T1N R17E. 27,530 SQ FT CITY OF LAKE GENEVA

0.630 ACRES

23613/ZA124000002 4739  
VICTORIA SHORES, LLC  
C/O FISHERS CARRIAGE HOUSE  
4720 E STATE ST  
ROCKFORD IL 61108

Please inform treasurer of address changes.

ASSESSED VALUE LAND	ASSESSED VALUE IMPROVEMENTS	TOTAL ASSESSED VALUE	AVERAGE ASSMT. RATIO	NET ASSESSED VALUE RATE (Does NOT reflect credits)	NET PROPERTY TAX
1,482,000	484,200	1,966,200	0.949360154	0.02362923	46376.81
ESTIMATED FAIR MARKET VALUE LAND	ESTIMATED FAIR MARKET VALUE IMPROVEMENTS	TOTAL ESTIMATED FAIR MARKET VALUE	<input type="checkbox"/> A star in this box means unpaid prior year taxes.	School taxes also reduced by school levy tax credit	
1,561,100	510,000	2,071,100		4,031.51	
TAXING JURISDICTION	2012 EST. STATE AIDS ALLOCATED TAX DIST.	2013 EST. STATE AIDS ALLOCATED TAX DIST.	2012 NET TAX	2013 NET TAX	% TAX CHANGE
STATE OF WISCONSIN	0	0	363.32	338.16	-6.9%
WALWORTH COUNTY	193,793	183,438	9,551.19	9,189.57	-3.8%
City of Lake Geneva	776,129	788,244	11,595.43	11,874.64	2.4%
Sch Lake Geneva J 1	3,127,859	4,049,088	15,960.50	12,518.12	-21.6%
UHS LG-Genoa City	619,993	547,884	6,973.30	9,281.96	33.1%
Gateway Technical	187,770	171,584	3,332.76	3,257.33	-2.3%
<b>TOTAL</b>	<b>4,905,544</b>	<b>5,740,238</b>	<b>47,776.50</b>	<b>46,459.78</b>	<b>-2.8%</b>
FIRST DOLLAR CREDIT			-80.44	-82.97	3.1%
LOTTERY AND GAMING CREDIT			0.00	0.00	0.0%
<b>NET PROPERTY TAX</b>			<b>47,696.06</b>	<b>46,376.81</b>	<b>-2.8%</b>

**TOTAL DUE: \$46,376.81**  
FOR FULL PAYMENT, PAY TO LOCAL TREASURER BY:  
**JANUARY 31, 2014**  
Warning: If not paid by due dates, installment option is lost and total tax is delinquent subject to interest and, if applicable, penalty.  
Failure to pay on time. See reverse.

PAY 1ST INSTALLMENT OF: \$23,188.41    PAY 2ND INSTALLMENT OF: \$23,188.40    PAY FULL AMOUNT OF: \$46,376.81

PAY 1ST INSTALLMENT OF: \$23,188.41

BY JANUARY 31, 2014

AMOUNT ENCLOSED \_\_\_\_\_

MAKE CHECK PAYABLE AND MAIL TO:

LAKE GENEVA CITY TREASURER  
626 GENEVA ST  
LAKE GENEVA, WI 53147

PIN# ZA124000002  
VICTORIA SHORES, LLC  
BILL NUMBER: 23613



PAY 2ND INSTALLMENT OF: \$23,188.40

BY JULY 31, 2014

AMOUNT ENCLOSED \_\_\_\_\_

MAKE CHECK PAYABLE AND MAIL TO:

WALWORTH COUNTY TREASURER  
100 W WALWORTH PO BOX 1001  
ELKHORN, WI 53121

PIN# ZA124000002  
VICTORIA SHORES, LLC  
BILL NUMBER: 23613



PAY FULL AMOUNT OF: \$46,376.81

BY JANUARY 31, 2014

AMOUNT ENCLOSED \_\_\_\_\_

MAKE CHECK PAYABLE AND MAIL TO:

LAKE GENEVA CITY TREASURER  
626 GENEVA ST  
LAKE GENEVA, WI 53147

PIN# ZA124000002  
VICTORIA SHORES, LLC  
BILL NUMBER: 23613



INCLUDE THIS STUB WITH YOUR PAYMENT

INCLUDE THIS STUB WITH YOUR PAYMENT

INCLUDE THIS STUB WITH YOUR PAYMENT

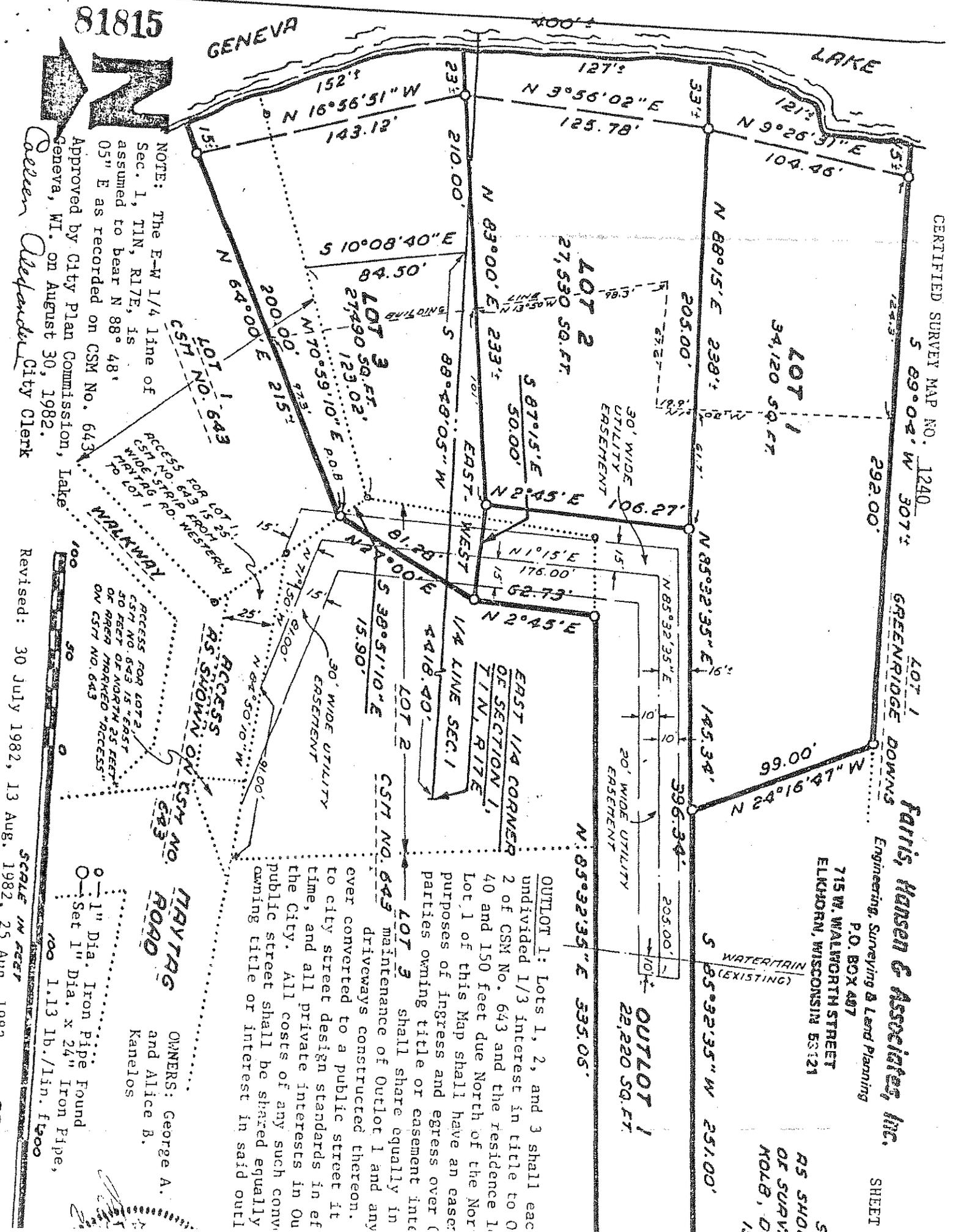


CERTIFIED SURVEY MAP NO. 1240

LOT 1 GREENRIDGE DOWNS FARRIS, HANSEN & Associates, Inc.  
Engineering, Surveying & Land Planning  
P.O. BOX 407  
715 W. WALWORTH STREET  
ELKHORN, WISCONSIN 53121

SHEET

AS SHOWN  
OF SURV.  
NO. 8, D.



OUTLOT 1: Lots 1, 2, and 3 shall each undivided 1/3 interest in title to 0 2 of CSM No. 643 and the residence 1, 40 and 150 feet due North of the North Lot 1 of this Map shall have an easement purposes of ingress and egress over (parties owning title or easement into

LOT 3 shall share equally in maintenance of Outlot 1 and any driveways constructed thereon.

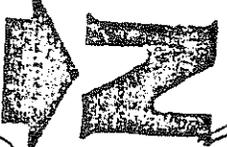
ever converted to a public street it to city street design standards in effect at the time, and all private interests in the City. All costs of any such conversion public street shall be shared equally owning title or interest in said outlot

OWNERS: George A. and Alice B. Kanelos

Revised: 30 July 1982, 13 Aug. 1982, 25 Aug. 1982

PROJECT NO

81815



NOTE: The E-W 1/4 line of Sec. 1, T1N, R17E, is assumed to bear N 88° 48' 05" E as recorded on CSM No. 643.

Approved by City Plan Commission, Lake Geneva, WI, on August 30, 1982.

Debra A. Steinhilber City Clerk

ACCESS FOR LOT 1, 2, 3 AND OUTLOT 1 FROM WESTERN AVENUE TO CS1 NO. 643

ACCESS FOR LOT 2, 3 AND OUTLOT 1 FROM WESTERN AVENUE TO CS1 NO. 643

ACCESS FOR LOT 2, 3 AND OUTLOT 1 FROM WESTERN AVENUE TO CS1 NO. 643

ACCESS FOR LOT 2, 3 AND OUTLOT 1 FROM WESTERN AVENUE TO CS1 NO. 643

TRAYAG ROAD

1" Dia. Iron Pipe Found

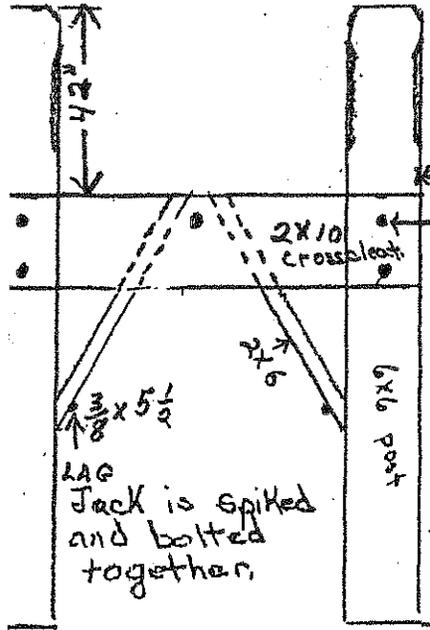
Set 1" Dia. x 24" Iron Pipe,

100 1.13 lb./lin. ft.

SCALE IN FEET

PROJECT NO

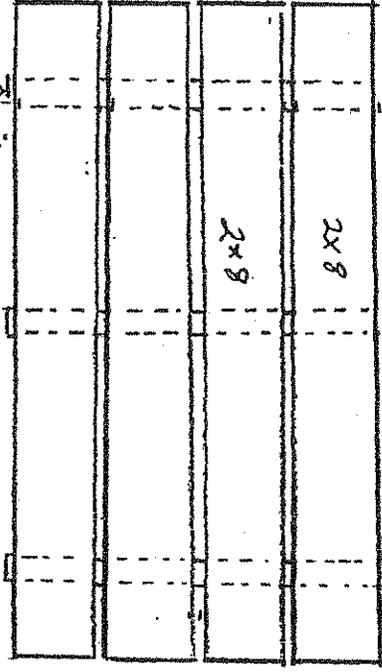
Jack



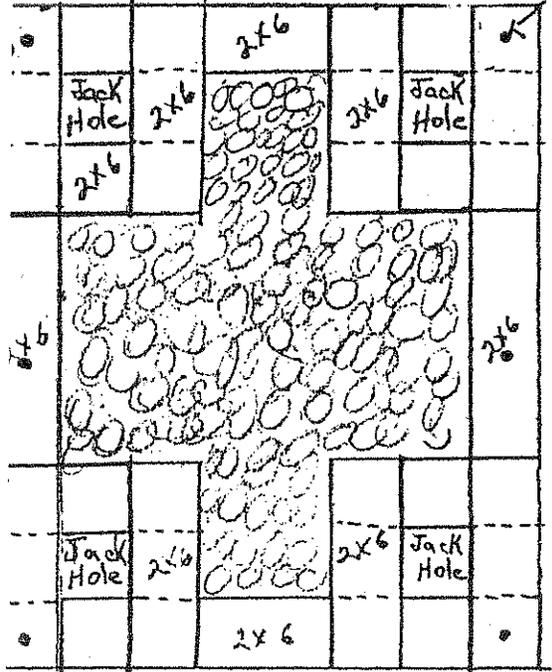
Lag Jack is spiked and bolted together.

treated 1 1/2" x 3" approx.

Decking spaced approximately 1/4"

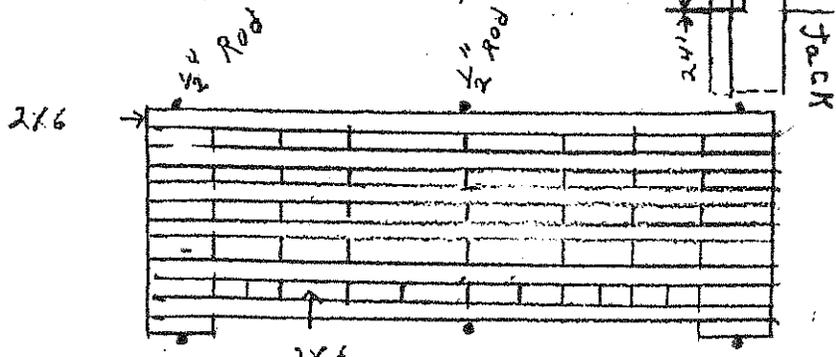


Crib



Top view of crib

4x6 stringer with 1/2" x 1/2" notched out for decking to lay into



Side view of crib

**Water Resources Application for  
Project Permits**

Form 3500-053 (R 9/12)

LEAVE BLANK - AGENCY USE ONLY				
Date Received	Fee Received \$	Construction Site ID#	Docket #	Corps #
Initial screening Completeness	<input type="checkbox"/> Historic checked	<input type="checkbox"/> Rare species (NHL) checked	<input type="checkbox"/> Wetlands checked	

## **CONDITIONAL USE RESOLUTION 14-R19**

A resolution authorizing the issuance of a Conditional Use Permit to Kwik Trip Inc., 1626 Oak Street, La Crosse, WI 54602

WHEREAS, the City Plan Commission has considered the application of Kwik Trip Inc., 1626 Oak Street, La Crosse, WI 54602; and,

WHEREAS, the City Plan Commission held a Public Hearing thereon pursuant to proper notice given on March 17, 2014; and,

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator be, and is hereby authorized, to issue a Conditional Use Permit for the installation of an electronic message center on a proposed freestanding monument sign located at the proposed Kwik Trip, Tax Key No's. ZA1776 00001 through 00004, and ZRA 00037A (a certified survey map is currently being recorded with new tax key numbers being assigned) pursuant to City staff review and restrictions that the message board meet the timing and lighting requirements of the Zoning Ordinance.

Granted by action of the Common Council of the City of Lake Geneva this 24th day of March, 2014.

---

James R. Connors, Mayor

ATTEST:

---

Timothy Neubeck, City Clerk

January 29, 2014

City of Lake Geneva  
Ken Robers - Zoning Administrator  
626 Geneva Street  
Lake Geneva, WI 56147

Dear Mr. Robers,

Kwik Trip is requesting consideration for a conditional use permit for the installation of an electronic message unit (EMU) at their new location on William and Ann Streets. The unit would be installed within the monument price sign which complies with ordinance regulations concerning square footage and height. The electronic message unit will be programmed and updated by the Kwik Trip Marketing Department in La Crosse, WI to display messages for one minute per the city requirement before moving to the next message. It is not Kwik Trip's intention to use the sign in any way to distract the public or interfere with traffic. It will be used to promote products available on site. The Daktronics message center comes equipped with automatic light sensors that automatically adjust the sign intensity to be no more than .3 foot candles over ambient light levels. Kwik Trip has moved to electronic message centers rather than manual reader-boards at all allowed locations with the safety of their co-workers in mind as they eliminate them from going outside in all weather conditions and the need for ladders to change the messages.

We appreciate your time and consideration; please feel free to contact myself at 608-781-1450 or Ryan Roberts from Kwik Trip Inc. at 608-793-5913.

Encl: \$400 conditional use fee

If you have questions or concerns please call Cindy Bluske (see contact information below).

*Thank you,*  
*Cindy Bluske*  
*La Crosse Sign Co.*  
*1450 Oak Forest Drive*  
*Onalaska, WI 54650*  
*Ph: 608-781-1450*  
*Fax: 608-781-1451*  
*[cindyb@lacrossesign.com](mailto:cindyb@lacrossesign.com)*

**APPLICATION FOR CONDITIONAL USE**

*City of Lake Geneva*

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

Intersection of Ann + Williams Sts. Lot 1, 3, + 4 of Certified Survey Map No 1726, filed January 6, 1989 in Volume 8 of Certified Survey Maps, Page 221 as Document No. 173247, being part of the SE 1/4 of the SW 1/4 of Section 25, Township 2 North, Range 17 West, City of Lake Geneva, Walworth County Wisconsin.

NAME AND ADDRESS OF CURRENT OWNER:

Kwik-Trip Inc. 1626 Oak St, PO Box 2107 La Crosse, WI 54602

TELEPHONE NUMBER OF CURRENT OWNER: 608-793-5913 - agent Ryan Roberts

NAME AND ADDRESS OF APPLICANT: La Crosse Sign Co. 1450 Oak Forest Dr Onulaska WI 54650

TELEPHONE NUMBER OF APPLICANT: 608-781-1450 - agent Cindy Bluske

PROPOSED CONDITIONAL USE: 98-804 (1)(c) - Electronic message sign requires conditional use

ZONING DISTRICT IN WHICH LAND IS LOCATED: GB

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT: Sign - La Crosse Sign Co. 1450 Oak Forest Dr Onulaska WI 54650

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE: Convenience store, Fuel station / car wash

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

1/29/2014  
DATE

Cindy Bluske  
SIGNATURE OF APPLICANT

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

LaCrosse Sign Co, as applicant/petitioner for:

Name: Kwik Trip Inc

Address: 1626 Oak St, P.O. Box 2107

La Crosse, WI 54602

Phone: 608-793-5913 (Kwik Trip), 608-781-1450 (LaCrosse Sign)

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 29<sup>th</sup> day of January, 2014.

Cindy Bluska, LaCrosse Sign  
Printed name of Applicant/Petitioner

Cindy Bluska  
Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

\_\_\_ Pre-submittal staff meeting scheduled:

Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

Follow-up pre-submittal staff meetings scheduled for:

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application form filed with Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application fee of \$ \_\_\_\_\_ received by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Reimbursement of professional consultant costs agreement executed: Date: \_\_\_\_\_ by: \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Packet (5 Copies to Zoning Administrator)*

Date: \_\_\_\_\_ by: \_\_\_\_\_

↓  
*Draft Final Packet (1 Copy to Zoning Administrator)*

Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ (a) **A map of the proposed conditional use:**

- \_\_\_ Showing all lands for which the conditional use is proposed;
- \_\_\_ Showing all other lands within 300 feet of the boundaries of the subject property;
- \_\_\_ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- \_\_\_ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- \_\_\_ Map and all its parts are clearly reproducible with a photocopier;
- \_\_\_ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- \_\_\_ All lot dimensions of the subject property provided;
- \_\_\_ Graphic scale and north arrow provided.

\_\_\_ (b) **A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**

- \_\_\_\_\_ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- \_\_\_\_\_ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- \_\_\_\_\_ (e) Written justification for the proposed conditional use:
  - \_\_\_\_\_ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. *(See below)*

**III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE**

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

*See attached sheet for answers*

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2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

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3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

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4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

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5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

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6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

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**IV.FINAL APPLICATION PACKET INFORMATION**

- \_\_\_\_ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator:      Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:      Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk:      Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Class 2 Legal Notice sent to official newspaper by City Clerk:      Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Class 2 Legal Notice published on \_\_\_\_\_ and \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Conditional Use recorded with the County Register of Deeds Office:      Date: \_\_\_\_\_ by: \_\_\_\_\_

### III. Justification of the Proposed Conditional Use

1. The monument sign design which houses the proposed electronic message center follows the sign regulations for size, height and setback per the Lake Geneva Sign Regulations.  
The message center notifies residents of specials each day at the Kwik Trip store, convenient for quick purchases within walking or biking distance for some, therefore promoting the neighborhood connection per the Comprehensive Plan.  
The Kwik Trip site is also a resource for tourists which follows the Comprehensive Plan promotion of tourism in the city.
2. The location of the monument sign which houses the electronic message center complies with the distance from property lines per city code.
3. It is not Kwik Trip's intention to use the sign in any way to distract the public or interfere with traffic. The electronic message unit will be programmed and updated by the Kwik Trip Marketing Department in La Crosse, WI to display messages for one minute per the city requirement before moving to the next message.
4. (not applicable)
5. Yes, the message center will not place an undue burden on nor interfere with the public being adequately served as they were.
6. Yes, it is an informational sign to the public with little adverse impact. It is also a safety benefit as it prevents the Kwik Trip employees from having to change letters and numbers on the alternative manual type reader-board.

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

\_\_\_ Pre-submittal staff meeting scheduled:

Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

Follow-up pre-submittal staff meetings scheduled for:

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application form filed with Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application fee of \$ \_\_\_ received by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Reimbursement of professional consultant costs agreement executed: Date: \_\_\_\_\_ by: \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Packet (5 Copies to Zoning Administrator)* Date: \_\_\_\_\_ by: \_\_\_\_\_

↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: \_\_\_\_\_ by: \_\_\_\_\_

↓

\_\_\_ (a) **A written description of the intended use describing in reasonable detail the:**

- \_\_\_ Existing zoning district(s) (and proposed zoning district(s) if different);
- \_\_\_ Land use plan map designation(s);
- \_\_\_ Current land uses present on the subject property;
- \_\_\_ Proposed land uses for the subject property (per Section 98-206);
- \_\_\_ Projected number of residents, employees, and daily customers;
- \_\_\_ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
- \_\_\_ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

\_\_\_ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;

\_\_\_ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";

\_\_\_ Exterior building and fencing materials (Sections 98-718 and 98-720);

\_\_\_ Possible future expansion and related implications for points above;

\_\_\_ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

\_\_\_ (b) A Small Location Map at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

\_\_\_ (c) A Property Site Plan drawing which includes:

\_\_\_ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;

\_\_\_ The date of the original plan and the latest date of revision to the plan;

\_\_\_ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);

\_\_\_ A reduction of the drawing at 11" x 17";

\_\_\_ A legal description of the subject property;

\_\_\_ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;

\_\_\_ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;

\_\_\_ All required building setback lines;

\_\_\_ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;

\_\_\_ The location and dimension (cross-section and entry throat) of all access points onto public streets;

\_\_\_ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;

\_\_\_ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;

\_\_\_ The location of all outdoor storage areas and the design of all screening devices;

\_\_\_ The location, type, height, size and lighting of all signage on the subject property;

\_\_\_ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;

\_\_\_ The location and type of any permanently protected green space areas;

\_\_\_ The location of existing and proposed drainage facilities;

\_\_\_ In the legend, data for the subject property on:

\_\_\_ Lot Area;

- \_\_\_ Floor Area;
- \_\_\_ Floor Area Ratio (b/a);
- \_\_\_ Impervious Surface Area;
- \_\_\_ Impervious Surface Ratio (d/a);
- \_\_\_ Building Height.

- \_\_\_ (d) **A Detailed Landscaping Plan of the subject property:**
  - \_\_\_ Scale same as main plan (> or equal to 1" equals 100')
  - \_\_\_ Map reduction at 11" x 17"
  - \_\_\_ Showing the location of all required bufferyard and landscaping areas
  - \_\_\_ Showing existing and proposed Landscape Point fencing
  - \_\_\_ Showing berm options for meeting said requirements
  - \_\_\_ Demonstrating complete compliance with the requirements of Article VI
  - \_\_\_ Providing individual plant locations and species, fencing types and heights, and berm heights;
- \_\_\_ (e) **A Grading and Erosion Control Plan:**
  - \_\_\_ Same scale as the main plan (> or equal to 1" equals 100')
  - \_\_\_ Map reduction at 11" x 17"
  - \_\_\_ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.
- \_\_\_ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**
  - \_\_\_ Showing finished exterior treatment;
  - \_\_\_ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
  - \_\_\_ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

**NOTE: Initiation of Land Use or Development Activity:** Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

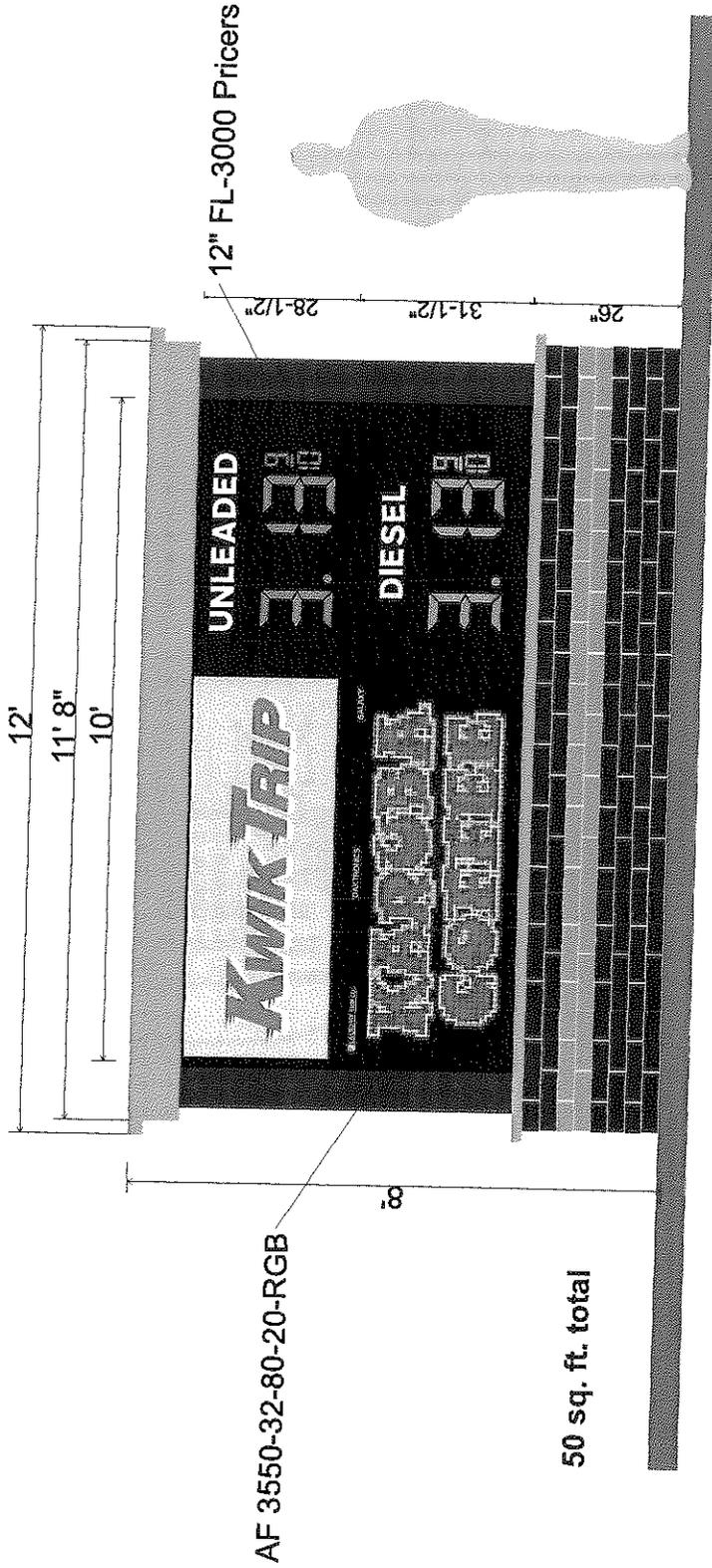
**NOTE: Modification of an Approved Site Plan:** Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

### III. FINAL APPLICATION PACKET INFORMATION

- \_\_\_ Receipt of 5 full scale copies in blue line or black line of complete Final Application Packet by Zoning Administrator:      Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:      Date: \_\_\_\_\_ by: \_\_\_\_\_

# Kwik Trip

#219 Lake Geneva, WI



\* COLORS ON SKETCH ARE A REPRESENTATION, ACTUAL COLOR MAY DIFFER



Date: 1-29-2014  
Job #: 77513  
Artist: Danielle Waas  
Sales: Cindy Bluske  
Scale: 3/8"=1'

KWIK TRIP Lake Geneva, WI #219 New Store 2014 Design Art 77513

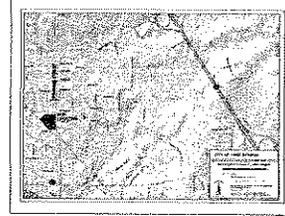
© Copyrighted Artwork This artwork is copyrighted and may not be otherwise used without permission. It is the property of La. Crosse Sign Co., inc., and must be returned to them.

APPROVED BY:

# ALTA/ACSM LAND TITLE SURVEY

Of Property located at 630 and 700 Williams Street, City of Lake Geneva, Walworth County, Wisconsin.  
The Legal Descriptions of Record as Contained within a Commitment for Title Insurance  
provided to the Surveyor by Chicago Title Insurance Company, File No. K160219  
Effective Date July 10, 2013.

## LOCATION MAP



## SCHEDULE 'A' LEGAL DESCRIPTION

### PARCEL A:

Lots 1, 3 and 4 of Certified Survey Map No. 1776, filed January 5, 1989 in Volume 8 of Certified Survey Maps, page 221 as Document No. 173047, being part of the SE 1/4 of the SW 1/4 of Section 25, Township 2 North, Range 17 West, City of Lake Geneva, Walworth County, Wisconsin.  
630 Williams St.

(Tax Parcel Nos. Z4177600001, Z4177600003 and Z4177600004)

### PARCEL B:

Lot 2 of Certified Survey Map No. 1776, filed January 6, 1989 in Volume 8 of Certified Survey Maps, page 221 as Document No. 173047, being part of the SE 1/4 of the SW 1/4 of Section 25, Township 2 North, Range 17 West, City of Lake Geneva, Walworth County, Wisconsin.  
700 Williams St.

(Tax Parcel No. Z4177600002)

## SURVEYORS NOTES

- ◆ Table A Item 4: Gross Land Area is 1.564 acres.
- ◆ Table A Item 6: Current Zoning Classification with setback requirements were not furnished and are not shown.
- ◆ Table A Item 2: Parcel (A) address 630 Williams Street. Parcel (B) address 700 Williams Street.
- ◆ Table A Item 9: No on site parking stalls were observed. Two street parking stalls were observed and are shown herein.
- ◆ Table A Item 17: There was no observed evidence of recent street or sidewalk construction or repairs.  
A phone call to Utilities Director Dan Winkler on August 12, 2013 indicated a desire to locate by street dedication or easement an additional 5' feet for street improvements.
- ◆ Possible culvert or pit area along the westerly side of subject property.
- ◆ Possible buried storage tank along the westerly side of subject property.
- ◆ Landscaping situated on subject parcel at the northeast corner of 612 Williams (SEE DETAIL).
- ◆ Bituminous alley surface situated on subject parcel.
- ◆ Water service to subject parcel crosses over adjacent property.
- ◆ Old rutted conveyor situated on subject property.
- ◆ Building materials stored adjacent to building of subject property.
- ◆ Auto repair shop at 700 Williams Street may have been a former gas station.
- ◆ Gas service to the existing block building along the southerly line lies in part within the boundaries of the subject parcel.
- ◆ Approximate location of 6" cast iron sewer lateral as identified by Southern Lakes Plumbing. Reported depth of 2'-10" ±.

## NOTES CORRESPONDING TO SCHEDULE B-II ITEMS

ONLY PLOTTABLE SCHEDULE B-II ITEMS ARE LISTED

- ① Easement granted by Beatrice Puzio, Bernadine Puzio, Odella Puzio, vendore to Land Revision Corp., a Wisconsin corporation, purchaser by an instrument dated July 31, 1991 and recorded in the Office of the Register of Deeds for Walworth County, Wisconsin on July 31, 1991 in Volume 529 of Records, page 759, as Document No. 215774. A copy of which is attached hereto and made a part hereof by reference.



**CALL DIGGERS HOTLINE**  
7-AM-5-PM  
TOLL FREE  
1-800-4-A-DRILLER-1-800-427-7267  
200 PINE HOLLOW AVENUE 7-800-427-7267  
MILWAUKEE, WI 53219  
TICKET NO. 20133101051 & 20133101055

PRIVATE LINES INC. WAS CONTRACTED TO VERIFY WATER SERVICE LOCATIONS. FIELD WORK WAS COMPLETED ON 8-12-13.  
PRIVATE LINES INC. WAS UNABLE TO LOCATE PRIVATE SANITARY SEWER LATERALS.

## FLOOD ZONE DESIGNATION

SUBJECT PARCEL IS SITUATED WITHIN ZONE 2 AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN  
FROM MAP NO. 53127023210  
EFFECTIVE DATE: OCTOBER 2, 2009

## SURVEYOR'S CERTIFICATE

IN CONFORMANCE WITH THE REQUIREMENTS OF  
CHICAGO TITLE INSURANCE COMPANY

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2013 Minimum Standards (Detail Requirements) for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a)(b), 7a, 9, 9, 10(a)(b), 14, 17, 20(a) and 22 of Table A thereof.

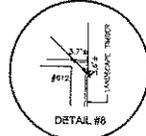
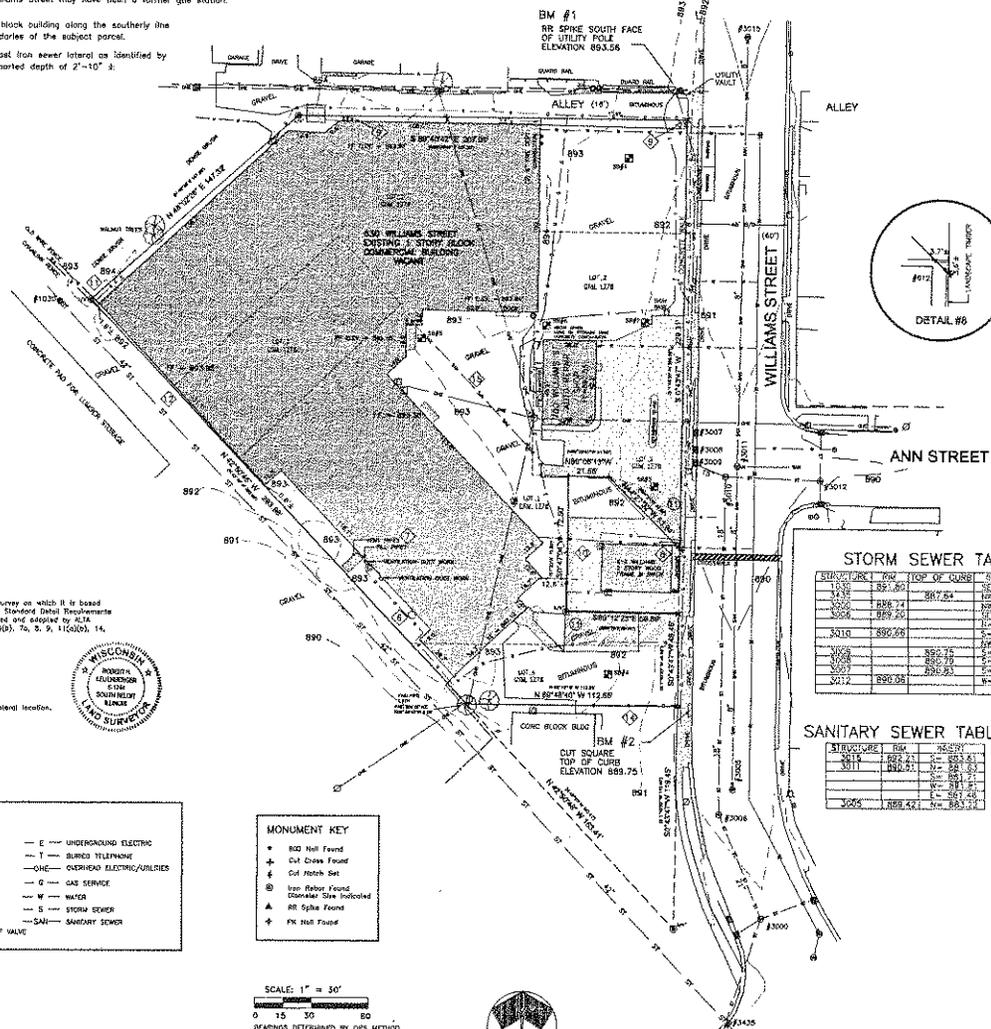
*Robert Leuchter*  
Robert Leuchter  
Wisconsin Registered Land Surveyor S-1244  
Dates this 19th day of August, 2013.  
Revised September 4th, 2013 to add 6" sewer lateral location.



LEGEND	
☐ TELEPHONE BOX	☐ CONCRETE
○ SEWER	— E — UNDERGROUND ELECTRIC
○ HYDRANT	— T — BURIED TELEPHONE
☒ SQUARE STORM INLET	— OH — OVERHEAD ELECTRIC/WIRES
☒ SANITARY SEWER	— G — GAS SERVICE
☒ ELECTRIC METER	— W — WATER
☒ CLUB INLET	— S — SEWER SEWER
☒ SOIL BORINGS (SB)	— SAN — SANITARY SEWER
	⊕ WATER SHUTOFF VALVE

MONUMENT KEY	
⊕	RED Nail Found
⊕	Old Drive Found
⊕	Cut Metal Set
⊕	Iron Rebar Found
⊕	Stake/Star Site Indicated
⊕	RR Spike Found
⊕	PK Nail Found

SCALE: 1" = 50'  
0 15 30 60  
BEARINGS DETERMINED BY GPS METHOD USING THE WISCONSIN COORDINATE SYSTEM, WISCONSIN COUNTY DATA, THE COMMONLY USED LINE OF THE SUBJECT PARCEL HAVING A BEARING OF N 42°30'42" W  
ELEVATIONS DETERMINED BY GPS METHOD NAV 85 DATUM  
FIELD BOOK 556 PAGE 16



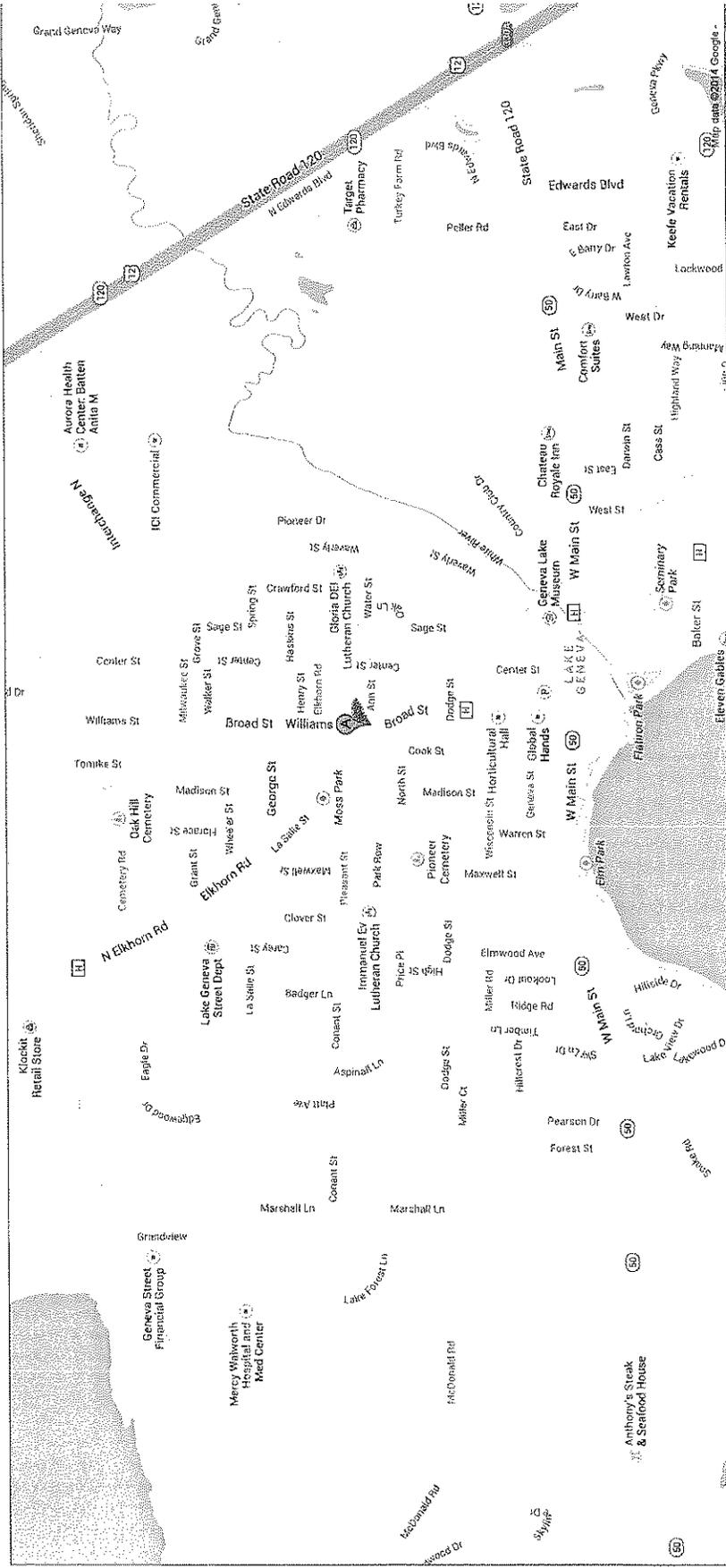
STORM SEWER TABLE			
STRUCTURE	INV.	TOP OF CURB	REMARKS
3310	889.20	887.64	W- 889.20
3308	889.12		W- 889.12
3306	889.20		W- 889.20
3318	890.28		W- 890.28
3316	889.75		W- 889.75
3314	889.70		W- 889.70
3312	890.05		W- 890.05

SANITARY SEWER TABLE			
STRUCTURE	INV.	TOP OF CURB	REMARKS
3311	889.21		W- 889.21
3309	889.21		W- 889.21
3305	889.41		W- 889.41

ORDER NO. 31660  
ORDERED BY ANGUS YOUNG & ASSOC.

**Batterman**  
engineers surveyors planners  
2551 Service Drive, West, Wisconsin 53111  
920.290.5456 www.batterman.com

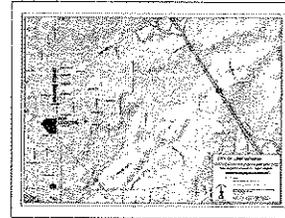
To see all the details that are visible on the screen, use the "Print" link next to the map.



# ALTA/ACSM LAND TITLE SURVEY

Of Property located at 830 and 700 Williams Street, City of Lake Geneva, Walworth County, Wisconsin.  
The Legal Descriptions of Records as Contained within a Commitment for Title Insurance  
appointed to the Surveyor by Chicago Title Insurance Company, File No. XTW00219  
Effective Date July 10, 2013.

## LOCATION MAP



## SCHEDULE 'A' LEGAL DESCRIPTION

### PARCEL A:

Lot 1, 3 and 4 of Certified Survey Map No. 1776, filed January 6, 1989 in Volume 8 of Certified Survey Maps, page 221 on Document No. 173047, being part of the SE 1/4 of the SW 1/4 of Section 25, Township 2 North, Range 17 West, City of Lake Geneva, Walworth County, Wisconsin.  
830 Williams St.

(Tax Parcel Nos. ZA177600001, ZA177600003 and ZA177600004)

### PARCEL B:

Lot 2 of Certified Survey Map No. 1776, filed January 6, 1989 in Volume 8 of Certified Survey Maps, page 221 on Document No. 173047, being part of the SE 1/4 of the SW 1/4 of Section 25, Township 2 North, Range 17 West, City of Lake Geneva, Walworth County, Wisconsin.  
700 Williams St.

(Tax Parcel No. ZA177600002)

## SURVEYORS NOTES

- ◆ Table A Item 4: Gross Land Area is 1.564 acres.
- ◆ Table A Item 6: Current Zoning Classification with setback requirements were not furnished and are not shown.
- ◆ Table A Item 2: Parcel (A) address 830 Williams Street, Parcel (B) address 700 Williams Street.
- ◆ Table A Item 9: No on site parking stripes were observed.  
Two street parking stalls were observed and are shown hereon.
- ◆ Table A Item 17: There was no observed evidence of recent street or sidewalk construction or repairs.  
A phone call to Utilities Director Dan Winkler on August 12, 2013 indicated a desire to acquire by street dedication or easement an additional 5 feet for street improvements.
- ◆ Possible oil or gas well along the westerly side of subject property.
- ◆ Possible buried storage tank along the westerly side of subject property.
- ◆ Landscaping situated on subject parcel of the northeast corner of 812 Williams (SEE DETAIL).
- ◆ Bituminous alley surface situated on subject parcel.
- ◆ Water service to subject parcel crosses over adjoining property.
- ◆ Did rated conveyer situated on subject property.
- ◆ Building materials stored adjacent to building of subject property.
- ◆ Auto repair shop at 700 Williams Street may have been a former gas station.
- ◆ Gas service to the existing block building along the southerly line lies in part within the boundaries of the subject parcel.
- ◆ Approximate location of 8" cast iron sewer lateral as identified by Southern Lakes Plumbing. Reported depth of 2'-10" ±.

## NOTES CORRESPONDING TO SCHEDULE B-II ITEMS

ONLY PLUMBABLE SCHEDULE B-II ITEMS ARE LISTED

- ① Easement granted by Beatrice Puzis, Bernadette Puzis, Odella Puzis, vendors to Land Revision Corp., a Wisconsin corporation, purchaser by an instrument dated July 31, 1993 and recorded in the Office of the Register of Deeds for Walworth County, Wisconsin on July 31, 1993 in Volume 529 of Records, page 269, as Document No. 215774. A copy of which is attached hereto and made a part hereof by reference.



**CALL DIGGERS HOTLINE**  
 1-800-222-2222  
 TOLL FREE  
 24 HOURS A DAY  
 100 EAST HANCOCK SQUARE | 7-800-222-2222  
 CHICAGO, ILLINOIS 60611  
 SERVICE AVAILABLE IN ALL STATES

TICKET NO. 20133101051 & 20133101055

PRIVATE LINES INC. WAS CONTRACTED TO VERIFY WATER SERVICE LOCATIONS. FIELD WORK WAS COMPLETED ON 8-12-13. PRIVATE LINES INC. WAS UNABLE TO LOCATE PRIVATE SANITARY SEWER LATERALS.

## FLOOD ZONE DESIGNATION

SUBJECT PARCEL IS SITUATED WITHIN ZONE X AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN  
 FEMA MAP NO. 85177C00310  
 EFFECTIVE DATE: OCTOBER 2, 2009

## SURVEYOR'S CERTIFICATE

FOR CONDOMINIUM STORE INVESTMENTS  
 CHICAGO TITLE INSURANCE COMPANY

This is to certify that this map or part of the survey on which it is based were made in accordance with the 2011 Minimum Standards Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(c)(9), 7a, 6, 9, 11(c)(3), 14, 17, 20(c) and 22 of Table A hereof.

*Robert Launberger*  
 Robert Launberger  
 Wisconsin Registered Land Surveyor S-1244

Dated the 19th day of August, 2013.

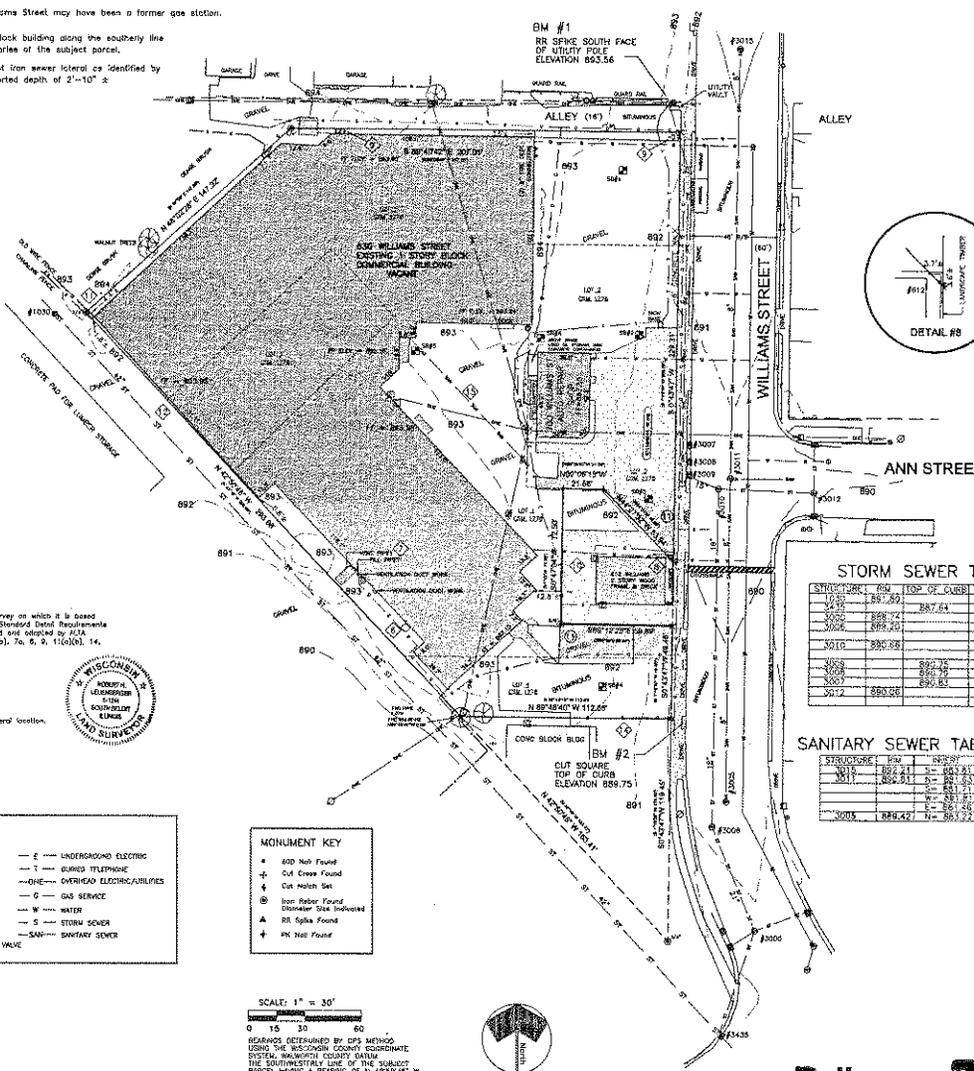
Revised September 4th, 2013 to add 6" sewer lateral location.



LEGEND	
☐ TELEPHONE BOX	☐ CONCRETE
⊠ SIGN	○ CATCH BASIN
⊡ MONUMENT	○ LIGHT POLE
⊞ SQUARE STORM HALET	⊞ GAS VALVE
⊞ SANITARY SEWER	⊞ GUY WIRE
⊞ ELECTRIC METER	⊞ BOLLARD
⊞ CURB INLET	⊞ WATER SHUTOFF VALVE
⊞ SOIL BORINGS (SB)	

MONUMENT KEY	
⊞	80# Nail Found
⊞	Old Crown Found
⊞	Old Hook Set
⊞	Iron Picket Found
⊞	Dimensional Stake Installed
⊞	8# Spike Found
⊞	8# Nail Found

SCALE: 1" = 30'  
 0 15 30 60  
 REARINGS DETERMINED BY GPS METHOD USING THE WISCONSIN COUNTY COORDINATE SYSTEM, WADSWORTH COUNTY DATA. THE SOUTHWESTERLY LINE OF THE SUBJECT PARCEL HAVING A BEARING OF N 42°50'45" W ELEVATION DETERMINED BY GPS METHOD HAD A BENCHMARK  
 FIELD BOOK 505 PAGE 18



### STORM SEWER TABLE

STRUCTURE	BM	TOP OF CURB	DEPTH
S101	889.62	887.64	198.20
S102	889.74	887.64	198.20
S103	889.20	887.64	198.20
S104	889.68	887.64	198.20
S105	889.75	887.64	198.20
S106	889.59	887.64	198.20
S107	889.65	887.64	198.20
S108	889.06	887.64	198.20

### SANITARY SEWER TABLE

STRUCTURE	BM	TOP OF CURB	DEPTH
S101	889.62	887.64	198.20
S102	889.74	887.64	198.20
S103	889.20	887.64	198.20
S104	889.68	887.64	198.20
S105	889.75	887.64	198.20
S106	889.59	887.64	198.20
S107	889.65	887.64	198.20
S108	889.06	887.64	198.20

ORDER NO. 31660  
 ORDERED BY ANGUS YOUNG & ASSOC.

**Batterman**  
 engineers surveyors planners  
 2017 South Drive | DeKalb, Wisconsin 53511  
 608.365.6484 | www.Batterman.com

## **CONDITIONAL USE RESOLUTION 14-R20**

A resolution authorizing the issuance of a Conditional Use Permit to John J. Karabas, 425 N Lower Gardens Road, Fontana, WI 53125

WHEREAS, the City Plan Commission has considered the application of John J. Karabas, 425 N Lower Gardens Road, Fontana, WI 53125; and,

WHEREAS, the City Plan Commission held a Public Hearing thereon pursuant to proper notice given on March 17, 2014; and,

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator be, and is hereby authorized, to issue a Conditional Use Permit to open an Indoor Commercial Entertainment (Restaurant) in a General Business (GB) Zoning District located at 816 Williams Street, Tax Key No. ZA2691 00002 pursuant to City staff review and restrictions that the business complies with the letter from Lake Geneva Fire Chief Connelly dated March 12, 2014.

Granted by action of the Common Council of the City of Lake Geneva this 24th day of March, 2014.

---

James R. Connors, Mayor

ATTEST:

---

Timothy Neubeck, City Clerk

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

816 Williams St. Lake Geneva, WI 53147

820

NAME AND ADDRESS OF CURRENT OWNER:

Signature Investments, LLC

TELEPHONE NUMBER OF CURRENT OWNER: \_\_\_\_\_

NAME AND ADDRESS OF APPLICANT:

John J. Karabas

425 N. Lovers Gardens Fontaine WI 53125

TELEPHONE NUMBER OF APPLICANT:

John J. Karabas 202 275 1777

PROPOSED CONDITIONAL USE:

waiting area for customers waiting for  
Pizza and a dining area for customers eating  
in.

ZONING DISTRICT IN WHICH LAND IS LOCATED:

GB (General Business)

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

N/A

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Pizza restaurant carry-out, delivery, dine-in.

no waitress service, counter service only

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

11.18.13

DATE

[Signature]  
SIGNATURE OF APPLICANT

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

John J. Karabas, as applicant/petitioner for:

Name: John J. Karabas

Address: 425 N. Lake Gardens  
Fontana WI 53125

Phone: 262 275-1777

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 12/18/13 day of December, 2013.

John J. Karabas  
Printed name of Applicant/Petitioner

[Signature]  
Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

- Pre-submittal staff meeting scheduled:  
 Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
- Follow-up pre-submittal staff meetings scheduled for:  
 \_\_\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_  
 \_\_\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_  
 \_\_\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_  
 \_\_\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
- Application form filed with Zoning Administrator: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
- Application fee of \$ \_\_\_\_\_ received by Zoning Administrator: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
- Reimbursement of professional consultant costs agreement executed: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

- Initial Packet (5 Copies to Zoning Administrator)* \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
- ↓ *Draft Final Packet (1 Copy to Zoning Administrator)* \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
- ↓

- (a) A map of the proposed conditional use:  
 \_\_\_\_\_ Showing all lands for which the conditional use is proposed;  
 \_\_\_\_\_ Showing all other lands within 300 feet of the boundaries of the subject property;  
 \_\_\_\_\_ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);  
 \_\_\_\_\_ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;  
 \_\_\_\_\_ Map and all its parts are clearly reproducible with a photocopier;  
 \_\_\_\_\_ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;  
 \_\_\_\_\_ All lot dimensions of the subject property provided;  
 \_\_\_\_\_ Graphic scale and north arrow provided.
- (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:
- (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations (see Site Plan Review checklist);
- (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as

proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

(e) Written justification for the proposed conditional use:

\_\_\_\_\_ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

An indoor restaurant seating area is a use compatible with the downtown Lake Geneva commercial district and is an improvement over the prior use which had two businesses in the same space

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The seating and waiting area is attached to an existing restaurant and improves the use of those premises.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

Combination of two businesses into one will reduce congestion, improve pedestrian access and complement adjoining businesses

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The change of use from small grocery store to dining area does not increase land use intensity or impacts and is consistent with surrounding businesses

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

Yes. Consolidation will reduce the burden on public services.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Yes

Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;

If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";

Exterior building and fencing materials (Sections 98-718 and 98-720);

Possible future expansion and related implications for points above;

Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

(b) A Small Location Map at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

(c) A Property Site Plan drawing which includes:

A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;

The date of the original plan and the latest date of revision to the plan;

A north arrow and a graphic scale (not smaller than one inch equals 100 feet);

A reduction of the drawing at 11" x 17";

A legal description of the subject property;

All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;

All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;

All required building setback lines;

All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;

The location and dimension (cross-section and entry throat) of all access points onto public streets;

The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;

The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;

The location of all outdoor storage areas and the design of all screening devices;

The location, type, height, size and lighting of all signage on the subject property;

The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;

The location and type of any permanently protected green space areas;

The location of existing and proposed drainage facilities;

In the legend, data for the subject property on:

Lot Area;

Floor Area;

Floor Area Ratio (b/a);

Impervious Surface Area;

Impervious Surface Ratio (d/a);

Building Height.

(d) A Detailed Landscaping Plan of the subject property:

Scale same as main plan (> or equal to 1" equals 100')

Map reduction at 11" x 17"

- \_\_\_ Showing the location of all required bufferyard and landscaping areas
- \_\_\_ Showing existing and proposed Landscape Point fencing
- \_\_\_ Showing berm options for meeting said requirements
- \_\_\_ Demonstrating complete compliance with the requirements of Article VI
- \_\_\_ Providing individual plant locations and species, fencing types and heights, and berm heights;

- \_\_\_ (e) **A Grading and Erosion Control Plan:**
  - \_\_\_ Same scale as the main plan (> or equal to 1" equals 100')
  - \_\_\_ Map reduction at 11" x 17"
  - \_\_\_ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.
- \_\_\_ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**
  - \_\_\_ Showing finished exterior treatment;
  - \_\_\_ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
  - \_\_\_ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

**NOTE: Initiation of Land Use or Development Activity:** Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

**NOTE: Modification of an Approved Site Plan:** Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

### III. FINAL APPLICATION PACKET INFORMATION

- \_\_\_ Receipt of 5 full scale copies in blue line or black line of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

\_\_\_ Pre-submittal staff meeting scheduled:

Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

Follow-up pre-submittal staff meetings scheduled for:

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application form filed with Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application fee of \$ \_\_\_ received by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Reimbursement of professional consultant costs agreement executed: Date: \_\_\_\_\_ by: \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator) Date: \_\_\_\_\_ by: \_\_\_\_\_

↓ Draft Final Packet (1 Copy to Zoning Administrator) Date: \_\_\_\_\_ by: \_\_\_\_\_

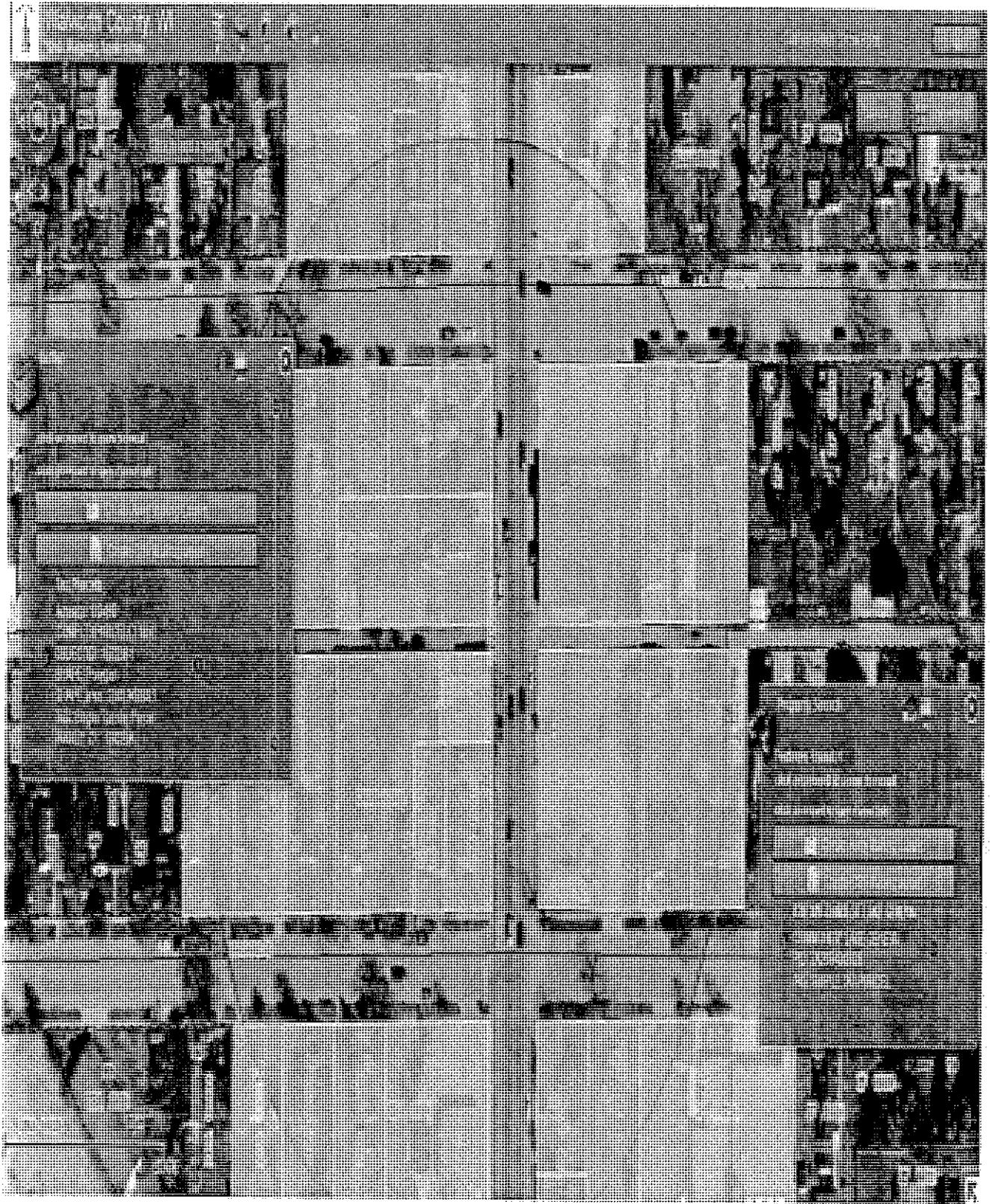
- \_\_\_ (a) A written description of the intended use describing in reasonable detail the:
- \_\_\_ Existing zoning district(s) (and proposed zoning district(s) if different);
  - \_\_\_ Land use plan map designation(s);
  - \_\_\_ Current land uses present on the subject property;
  - \_\_\_ Proposed land uses for the subject property (per Section 98-206);
  - \_\_\_ Projected number of residents, employees, and daily customers;
  - \_\_\_ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
  - \_\_\_ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

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#### IV.FINAL APPLICATION PACKET INFORMATION

- \_\_\_\_ Receipt of 5 full scale copies in blueline or blackline  
of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics)  
copies of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Certification of complete Final Application Packet and  
required copies to the Zoning Administrator by City Clerk: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Class 2 Legal Notice published on \_\_\_\_\_ and \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Conditional Use recorded with the County Register of Deeds Office: Date: \_\_\_\_\_ by: \_\_\_\_\_





**820 WHITE**

**WALWORTH COUNTY, WISCONSIN**

Walworth County Assessor's Office  
 1000 North Lincoln Street  
 Janesville, WI 53402  
 Phone: 608/785-3300  
 Fax: 608/785-3301  
 Website: www.walworthcountywi.gov



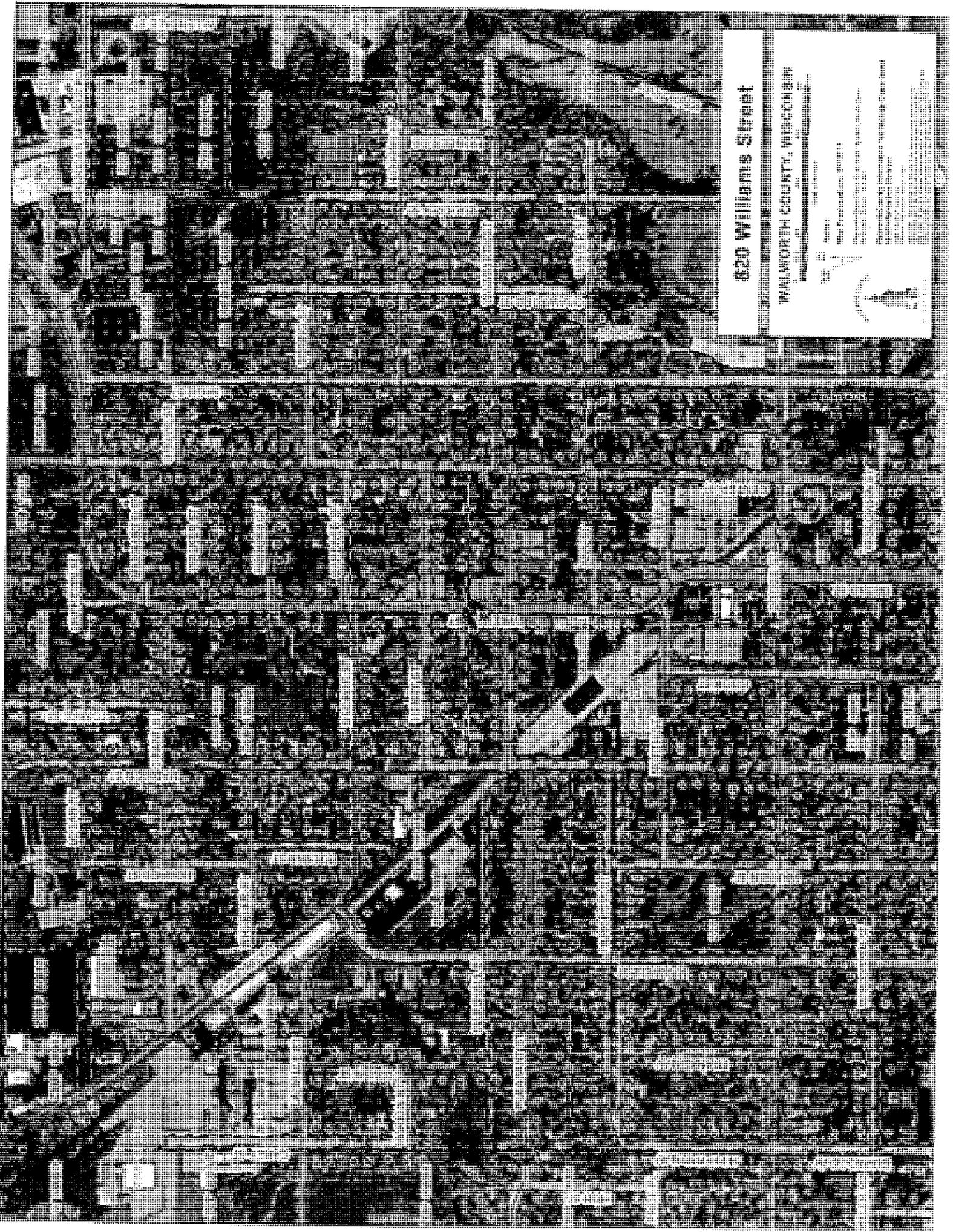
820 WHITE

820 WHITE

820 WHITE

**620 Williams Street**

**WALWORTH COUNTY, WISCONSIN**  
The Walworth County Assessor's Office is pleased to provide you with this information. The information is provided for your information only and is not intended to be used for any other purpose. The information is provided as a public service and is not intended to be used for any other purpose. The information is provided as a public service and is not intended to be used for any other purpose.



## **CONDITIONAL USE RESOLUTION 14-R21**

A resolution authorizing the issuance of a Conditional Use Permit to Margaret Klingenberg, 3910 Ridge Road, Spring Grove, IL 60081

WHEREAS, the City Plan Commission has considered the application Margaret Klingenberg, 3910 Ridge Road, Spring Grove, IL 60081; and,

WHEREAS, the City Plan Commission held a Public Hearing thereon pursuant to proper notice given on March 17, 2014; and,

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator be, and is hereby authorized, to issue a Conditional Use to construct a Single Family Residence on an existing lot using the SR-4 Zoning requirements in an Estate Residential Zoning District (ER-1) located at Pine Tree Lane, Tax Key No. ZSY 00002 pursuant to City staff review and restrictions the condition the City Engineer provides a letter of approval for a drainage plan.

Granted by action of the Common Council of the City of Lake Geneva this 24th day of March, 2014.

---

James R. Connors, Mayor

ATTEST:

---

Timothy Neubeck, City Clerk

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

Lot 2 of Syver - stad Lake Shore Estates

711 Pine Tree Lane, Lake Geneva WI 53147

NAME AND ADDRESS OF CURRENT OWNER:

x Margaret Klingenberg, 3910 Ridge Rd,  
Spring Grove, IL 60081

TELEPHONE NUMBER OF CURRENT OWNER: (815) 245-7733

NAME AND ADDRESS OF APPLICANT:

x Margaret Klingenberg 3910 Ridge Rd,  
Spring Grove, IL 60081

TELEPHONE NUMBER OF APPLICANT: (815) 245-7733

PROPOSED CONDITIONAL USE:

SINGLE FAMILY NEW RANCH HOME

ZONING DISTRICT IN WHICH LAND IS LOCATED: ERI

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

WARREN HANSEN - FARRIS HANSEN + ASSOC, Ridgeway Ct, Elkhorn WI 53121

Geneva Lake Dream Homes LLC - General Contractor, 908 Wauk St, Lake Geneva 53147

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Build New Ranch Home

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

2/10/2014  
DATE

Margaret Klingenberg  
SIGNATURE OF APPLICANT

SR4 2014

**AGREEMENT FOR SERVICES**

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Geneva Lake Dream Homes LLC, as applicant/petitioner for:

Name: Margaret Klingenberg  
Address: 3910 Ridge Rd.  
Spring Grove, IL 60081  
Phone: (815) 245-7733

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 10th day of February, 2014.

Margaret Klingenberg  
Printed name of Applicant/Petitioner

Margaret Klingenberg  
Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

- \_\_\_ Pre-submittal staff meeting scheduled:  
Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Follow-up pre-submittal staff meetings scheduled for:  
Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Application form filed with Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Application fee of \$ \_\_\_\_\_ received by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Reimbursement of professional consultant costs agreement executed: Date: \_\_\_\_\_ by: \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

- \_\_\_ Initial Packet (5 Copies to Zoning Administrator) Date: \_\_\_\_\_ by: \_\_\_\_\_
- ↓  
\_\_\_ Draft Final Packet (1 Copy to Zoning Administrator) Date: \_\_\_\_\_ by: \_\_\_\_\_
- ↓

- \_\_\_ (a) A map of the proposed conditional use:
  - \_\_\_ Showing all lands for which the conditional use is proposed;
  - \_\_\_ Showing all other lands within 300 feet of the boundaries of the subject property;
  - \_\_\_ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
  - \_\_\_ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
  - \_\_\_ Map and all its parts are clearly reproducible with a photocopier;
  - \_\_\_ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
  - \_\_\_ All lot dimensions of the subject property provided;
  - \_\_\_ Graphic scale and north arrow provided.
- \_\_\_ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:
- \_\_\_ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations (see Site Plan Review checklist);
- \_\_\_ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as

proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

(e) Written justification for the proposed conditional use:

\_\_\_\_ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

*SINGLE FAMILY AS ALL ADJOINING LOTS*

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

*SAME AS OTHER ADJOINING LOTS*

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

*NO*

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

*In line with other home construction on R-1b lots*

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

*NO*

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

*NO*



**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

\_\_\_ Pre-submittal staff meeting scheduled:

Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

Follow-up pre-submittal staff meetings scheduled for:

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application form filed with Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application fee of \$ \_\_\_ received by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Reimbursement of professional consultant costs agreement executed: Date: \_\_\_\_\_ by: \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Packet (5 Copies to Zoning Administrator)*

Date: \_\_\_\_\_ by: \_\_\_\_\_

↓  
Draft Final Packet (1 Copy to Zoning Administrator)

Date: \_\_\_\_\_ by: \_\_\_\_\_

↓

\_\_\_ (a) A written description of the intended use describing in reasonable detail the:

- \_\_\_ Existing zoning district(s) (and proposed zoning district(s) if different);
- \_\_\_ Land use plan map designation(s);
- \_\_\_ Current land uses present on the subject property;
- \_\_\_ Proposed land uses for the subject property (per Section 98-206);
- \_\_\_ Projected number of residents, employees, and daily customers;
- \_\_\_ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
- \_\_\_ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

- \_\_\_ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- \_\_\_ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- \_\_\_ Exterior building and fencing materials (Sections 98-718 and 98-720);
- \_\_\_ Possible future expansion and related implications for points above;
- \_\_\_ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

\_\_\_ \_\_\_ (b) A **Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

\_\_\_ \_\_\_ (c) A **Property Site Plan** drawing which includes:

- \_\_\_ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- \_\_\_ The date of the original plan and the latest date of revision to the plan;
- \_\_\_ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- \_\_\_ A reduction of the drawing at 11" x 17";
- \_\_\_ A legal description of the subject property;
- \_\_\_ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- \_\_\_ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- \_\_\_ All required building setback lines;
- \_\_\_ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- \_\_\_ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- \_\_\_ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- \_\_\_ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- \_\_\_ The location of all outdoor storage areas and the design of all screening devices;
- \_\_\_ The location, type, height, size and lighting of all signage on the subject property;
- \_\_\_ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- \_\_\_ The location and type of any permanently protected green space areas;
- \_\_\_ The location of existing and proposed drainage facilities;
- \_\_\_ In the legend, data for the subject property on:
  - \_\_\_ Lot Area;
  - \_\_\_ Floor Area;
  - \_\_\_ Floor Area Ratio (b/a);
  - \_\_\_ Impervious Surface Area;
  - \_\_\_ Impervious Surface Ratio (d/a);
  - \_\_\_ Building Height.

\_\_\_ \_\_\_ (d) A **Detailed Landscaping Plan** of the subject property:

- \_\_\_ Scale same as main plan (> or equal to 1" equals 100')
- \_\_\_ Map reduction at 11" x 17"

- \_\_\_ Showing the location of all required bufferyard and landscaping areas
- \_\_\_ Showing existing and proposed Landscape Point fencing
- \_\_\_ Showing berm options for meeting said requirements
- \_\_\_ Demonstrating complete compliance with the requirements of Article VI
- \_\_\_ Providing individual plant locations and species, fencing types and heights, and berm heights;

\_\_\_ (e) **A Grading and Erosion Control Plan:**

- \_\_\_ Same scale as the main plan (> or equal to 1" equals 100')
- \_\_\_ Map reduction at 11" x 17")
- \_\_\_ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

\_\_\_ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**

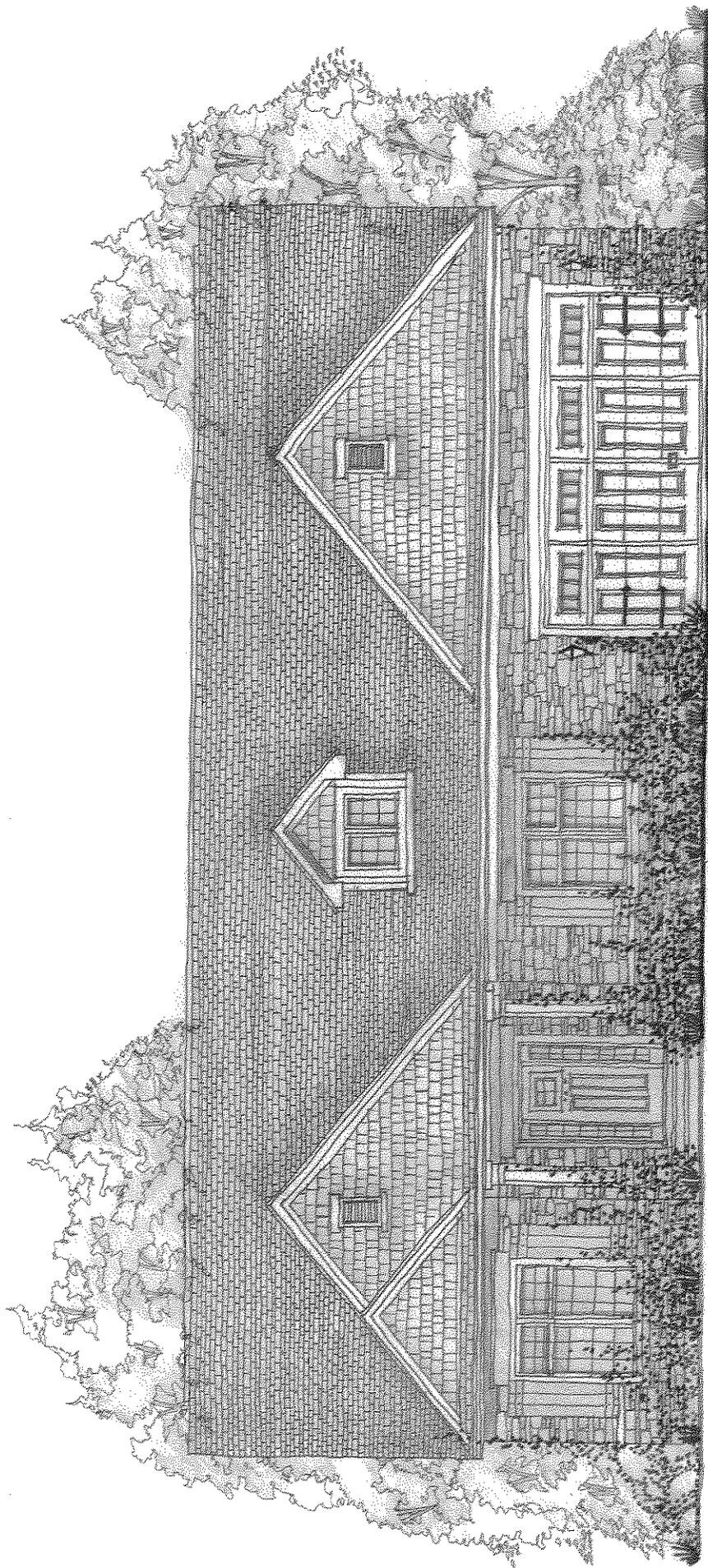
- \_\_\_ Showing finished exterior treatment;
- \_\_\_ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- \_\_\_ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

**NOTE: Initiation of Land Use or Development Activity:** Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

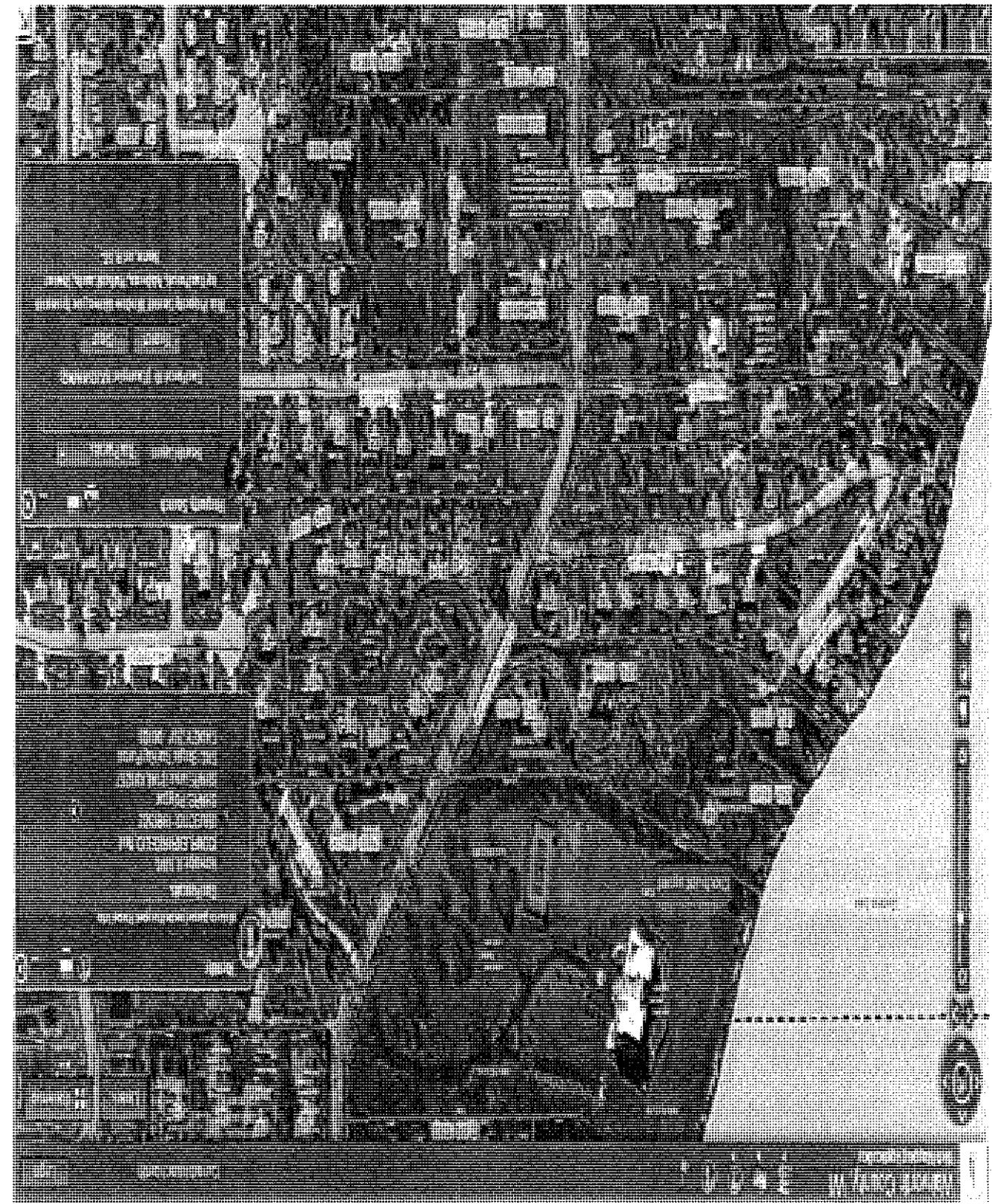
**NOTE: Modification of an Approved Site Plan:** Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

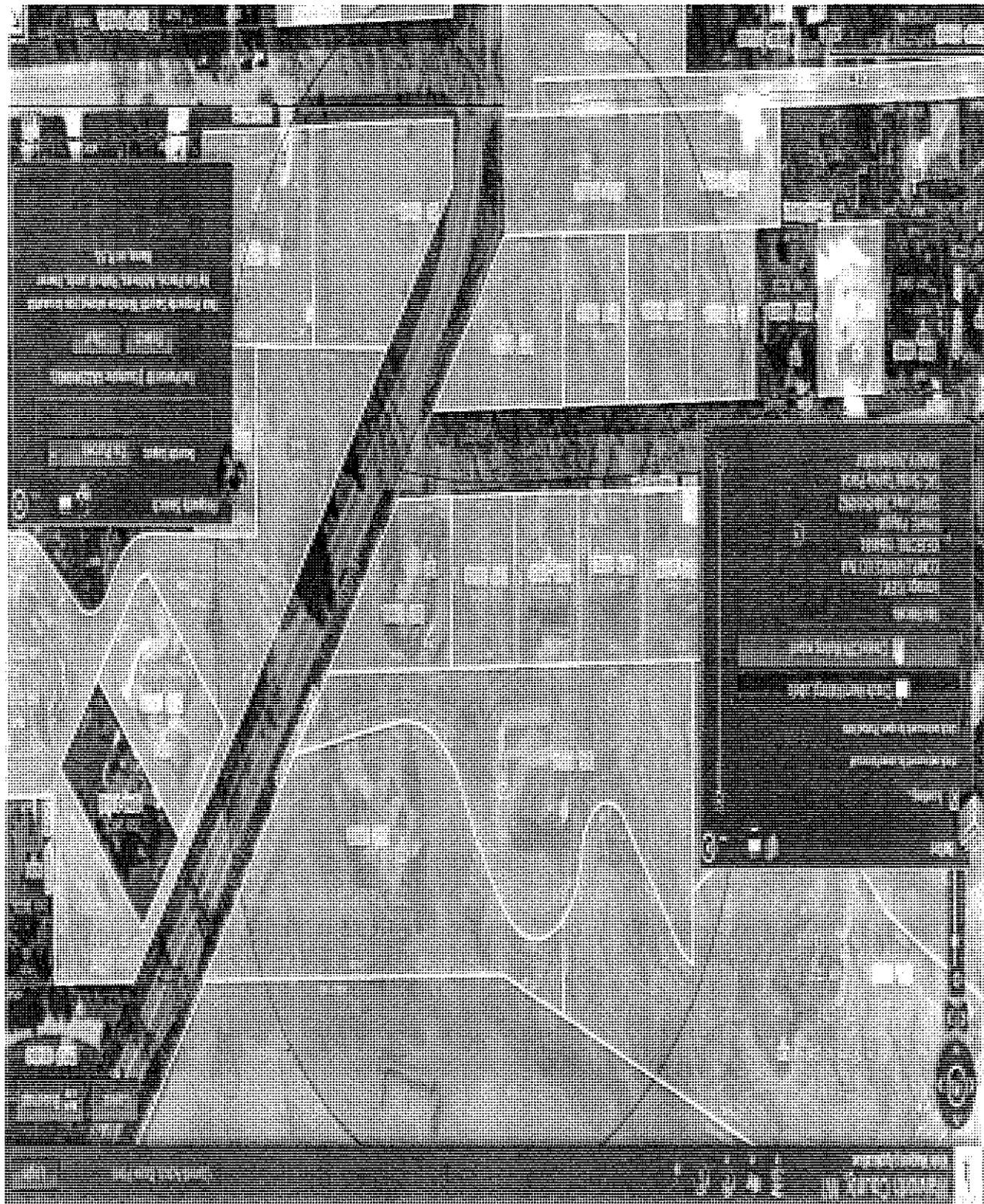
**III. FINAL APPLICATION PACKET INFORMATION**

- \_\_\_ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_



M.P. 2008





# FARRIS, HANSEN & ASSOCIATES, INC.

ENGINEERING - ARCHITECTURE - SURVEYING  
 7 RIDGWAY COURT - P.O. BOX 437 - ELKHORN, WISCONSIN 53121  
 PHONE: (262) 723-2098 FAX: (262) 723-5886

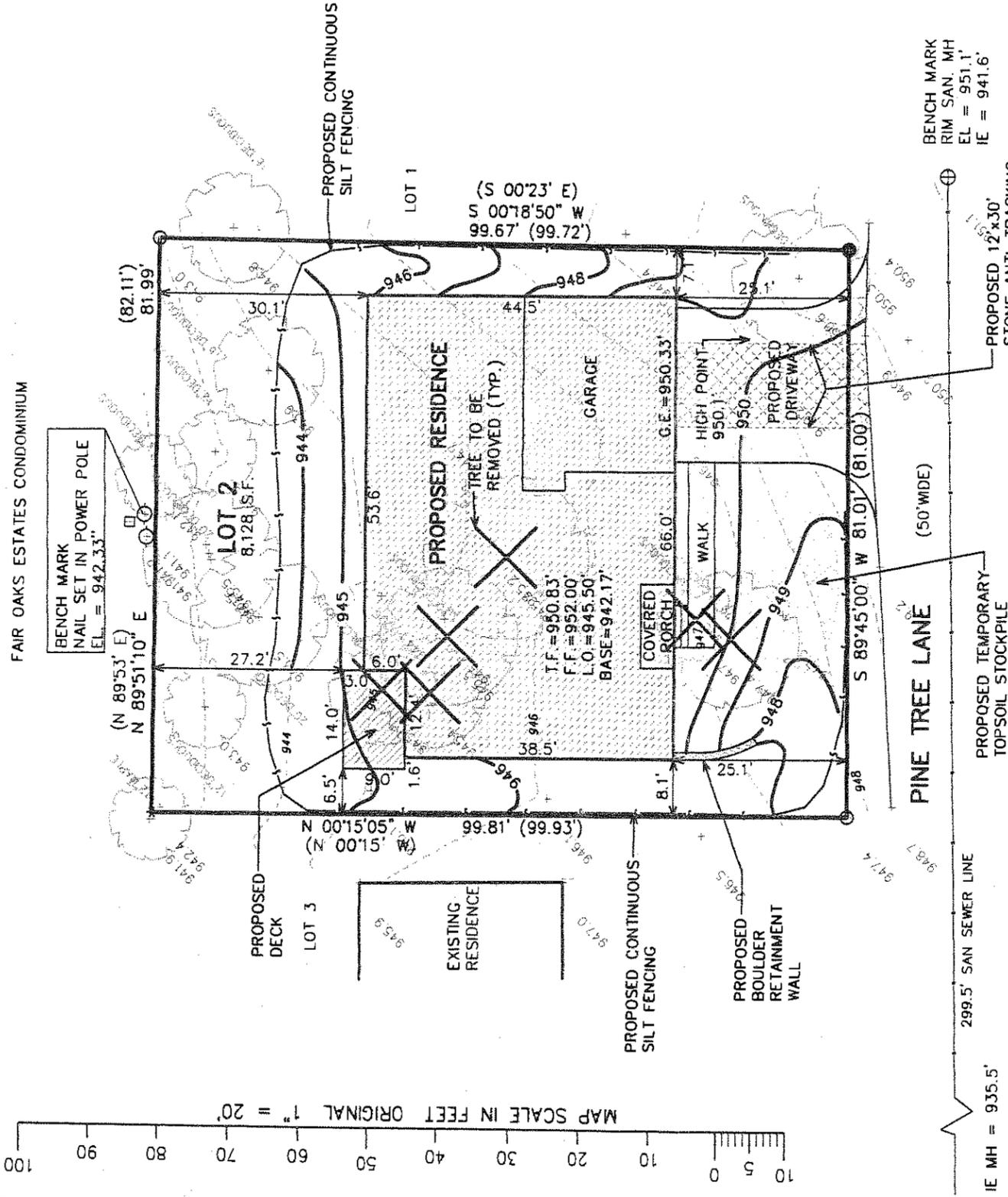
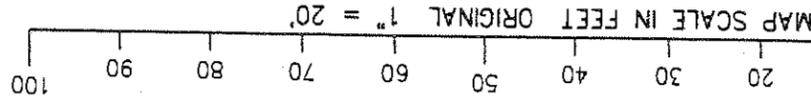
SITE, GRADING, DRAINAGE,  
 & EROSION CONTROL PLAN  
 PLAT OF SURVEY

- WORK ORDERED BY -  
 GENEVA LAKES DREAM HOMES  
 908 S. WELLS  
 LAKE GENEVA, WI. 53147

## LOT 2 OF SYVER-STAD LAKE SHORE ESTATES

A SUBDIVISION IN THE NW 1/4 OF THE NE 1/4 SECTION 1  
 TOWN 1 NORTH, RANGE 17EAST, CITY OF LAKE GENEVA  
 WALWORTH COUNTY, WISCONSIN

ASSIGNED SOUTH LINE  
 LOT 2  
 S 89°45'00" W



### LEGEND

- = FOUND IRON PIPE STAKE
- = FOUND IRON REBAR STAKE
- \* = IRON PIPE DETECTED BELOW ROOT OF TREE
- (XXX) = RECORDED AS
- XXX--- = EXISTING LAND CONTOUR
- XXX— = PROPOSED LAND CONTOUR

- T.F. = TOP OF FOUNDATION GRADE
- F.F. = FIRST FLOOR GRADE
- L.O. = LOOK-OUT SILL GRADE
- BASE = BASEMENT FLOOR GRADE
- G.E. = GARAGE ENTRY GRADE

NOTE: COPIES OF THIS MAP TO WHICH THE FOLLOWING CERTIFICATE WILL APPLY SHOW THE SURVEYOR'S ORIGINAL SEAL AND SIGNATURE IN RED INK. COPIES BY ANY OTHER MEANS MAY HAVE ALTERATIONS WHICH DO NOT REPRESENT THE SURVEYOR'S WORK PRODUCT.

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY DIRECTION AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY AND ITS EXTERIOR BOUNDARIES. THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE YEAR FROM THE DATE HEREOF.

DATED: JANUARY 24, 2014

*Peter S. Gordon*  
 PETER S. GORDON R.L.S. 2101

### CONSTRUCTION SEQUENCE

- 1) SILT FENCING INSTALLED
- 2) VEGETATION TO BE CLEARED
- 3) TOPSOIL STRIPPED
- 4) FOUNDATIONS DUG & POURED
- 5) WALLS BACKFILLED
- 6) FRAMING & HOME CONSTRUCTION COMPLETED
- 7) DRIVE & LANDSCAPING COMPLETED

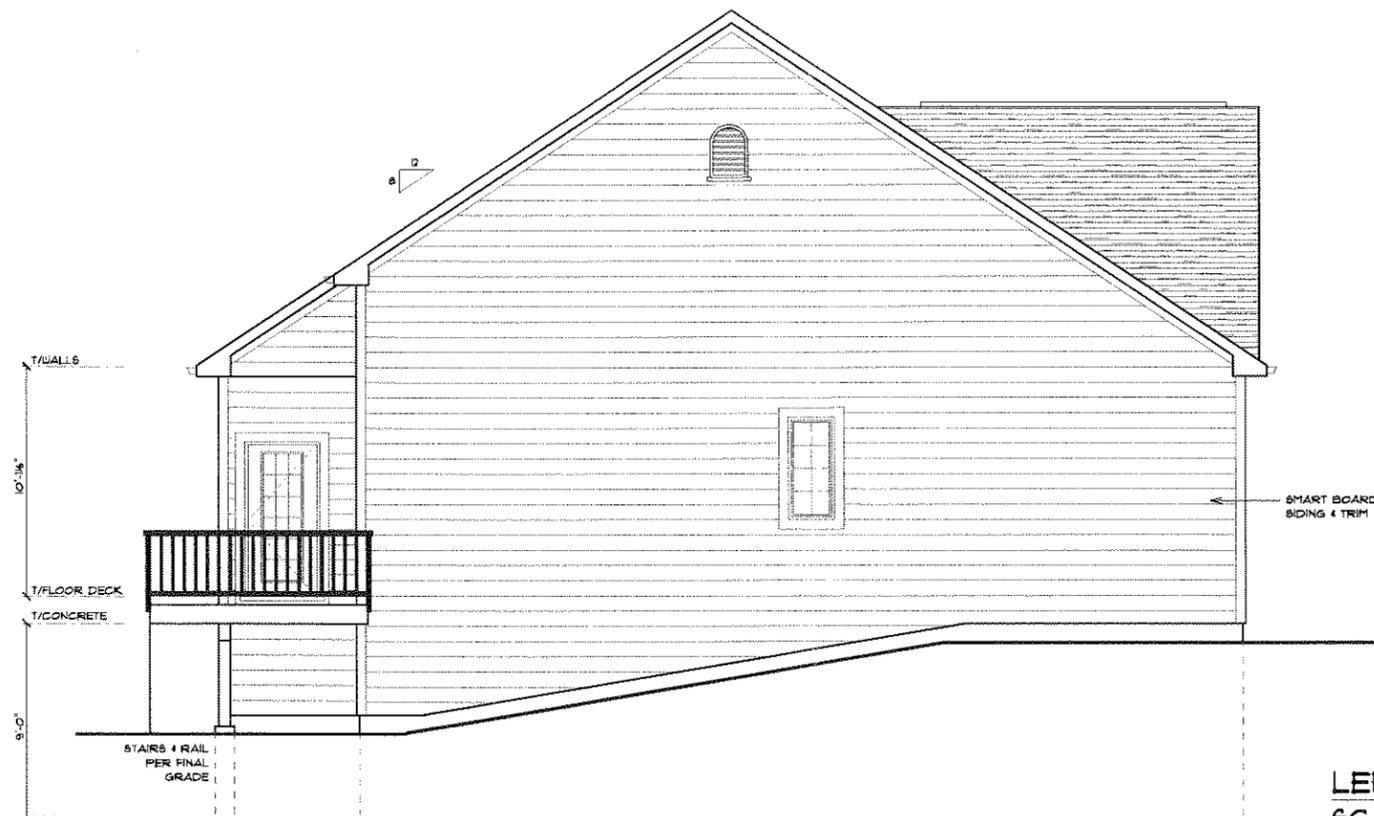
AREA TO BE RESTORED WITH TOPSOIL AS SOON AFTER FOUNDATION AND FRAMING AS POSSIBLE FOLLOWED WITH GRASS SEEDING AND MULCH.

AREA WITHIN SILT FENCING TO BE CLEARED OF UNDERBRUSH WITH ONLY NECESSARY LARGE TREES REMOVED.

NOTE: ALL SILT FENCING SHALL BE MAINTAINED IN A STABLE CONDITION FULLY BRACED AND STAKED TO PREVENT MOVEMENT BY RUNOFF UNTIL A DENSE TURF IS ESTABLISHED OVER ALL DISTURBED GROUND SURFACES. DURING OR AFTER EVERY STORM THEY SHALL BE CHECKED. ACCUMULATIONS OF SILT TOPSOIL AND ANY OTHER CONSTRUCTION DEBRIS SHALL BE ROUTINELY REMOVED.



**FRONT ELEVATION**  
SCALE: 1/4" = 1' 0"



**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1' 0"

FRAMING  
DESIGN  
CONCEPTS  
INC  
FDC  
815-678-7790  
framingdesign@charter.net

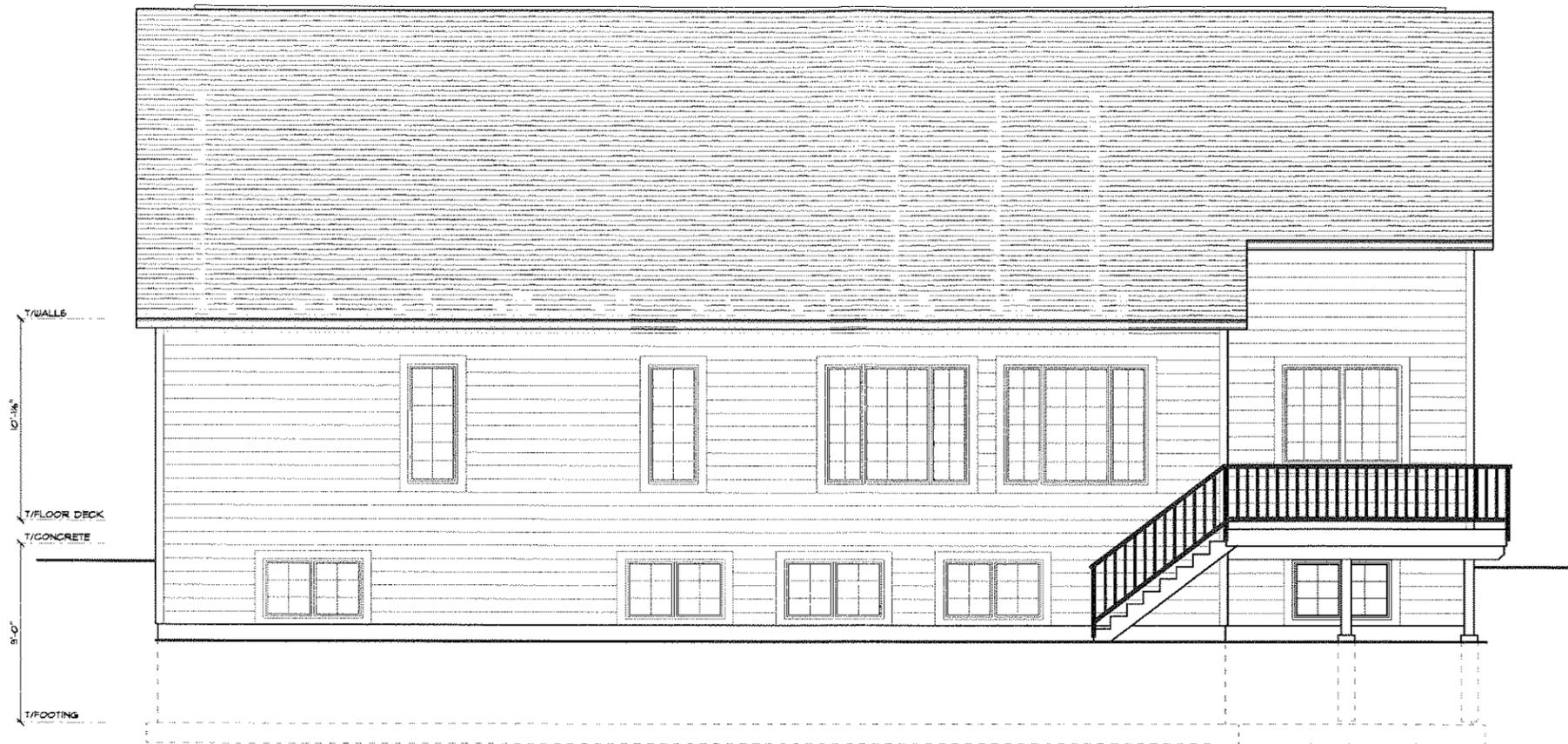
908 SOUTH WELLS ST  
LAKE GENEVA, WI 53147  
262-249-0009  
FAX: 262-249-0008  
genevalakedreamhomes.com

GENEVA LAKE  
DREAM HOMES LLC

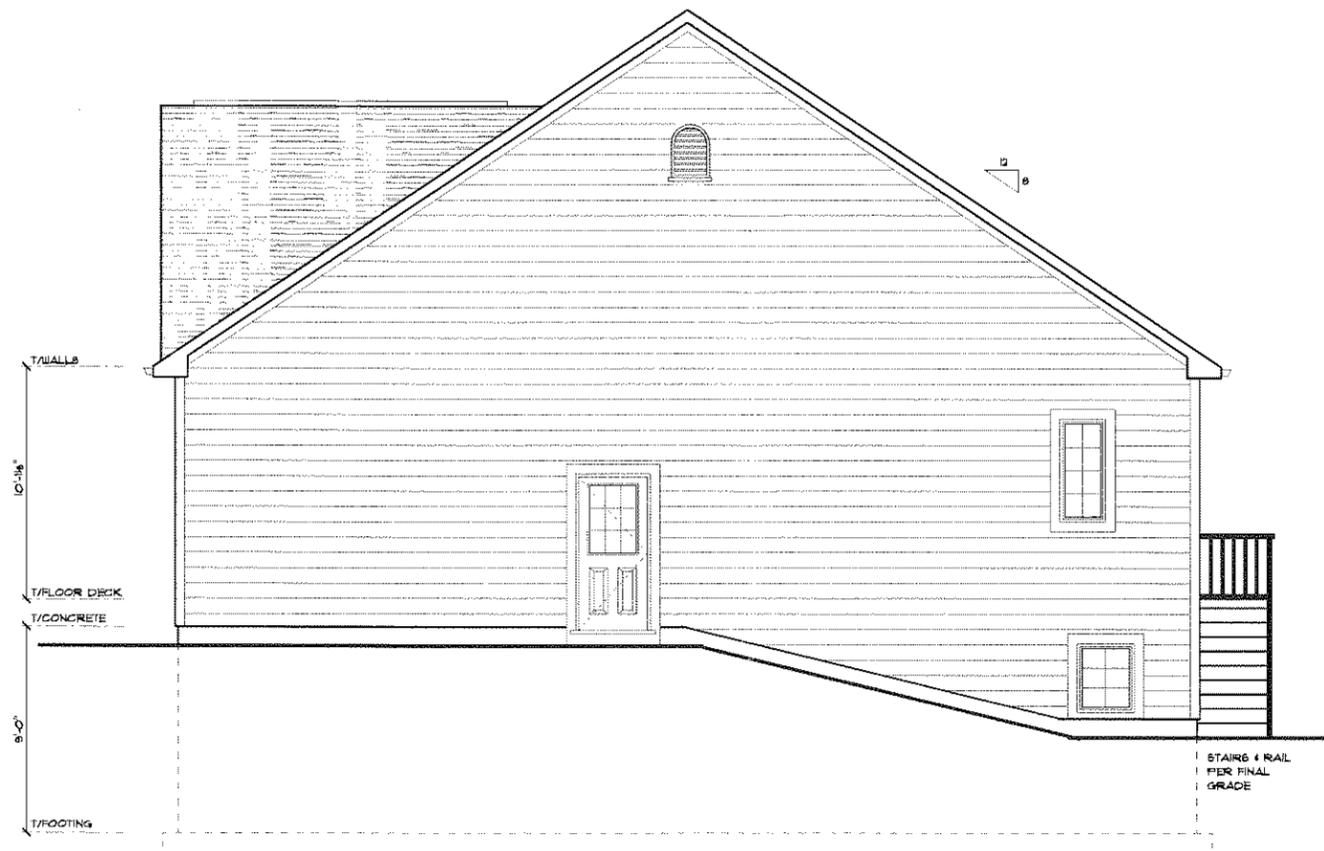
KLINGENBERG RESIDENCE  
LAKE GENEVA, WI 53147  
FRONT & LEFT SIDE ELEVATION

DATE  
1-21-14

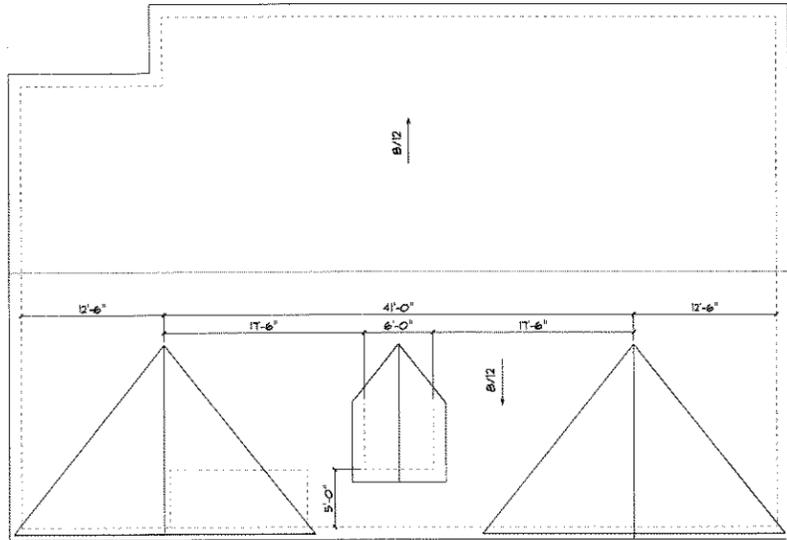
SHEET NO.



**REAR ELEVATION**  
SCALE: 1/4" = 1' 0"

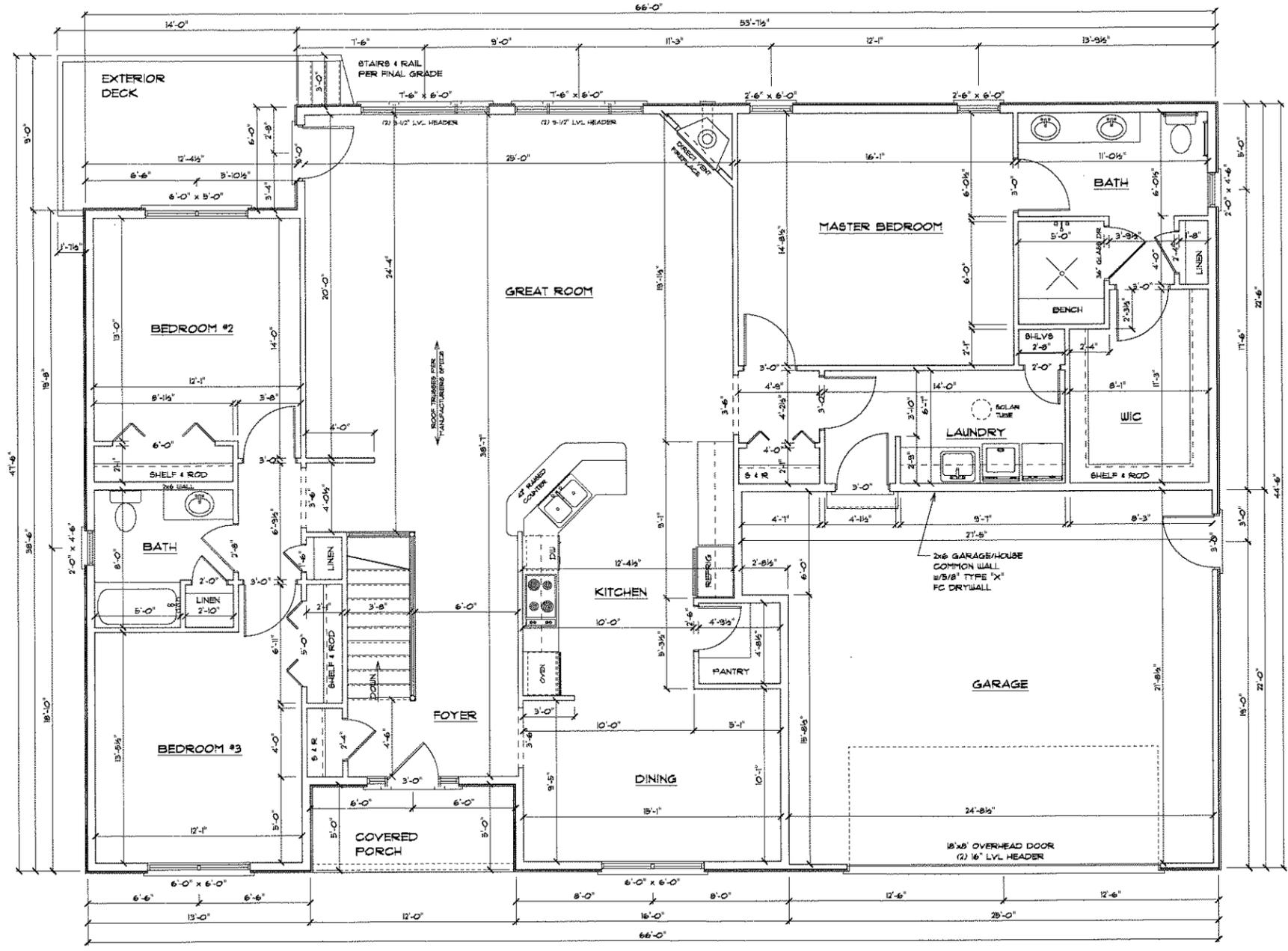


**RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1' 0"



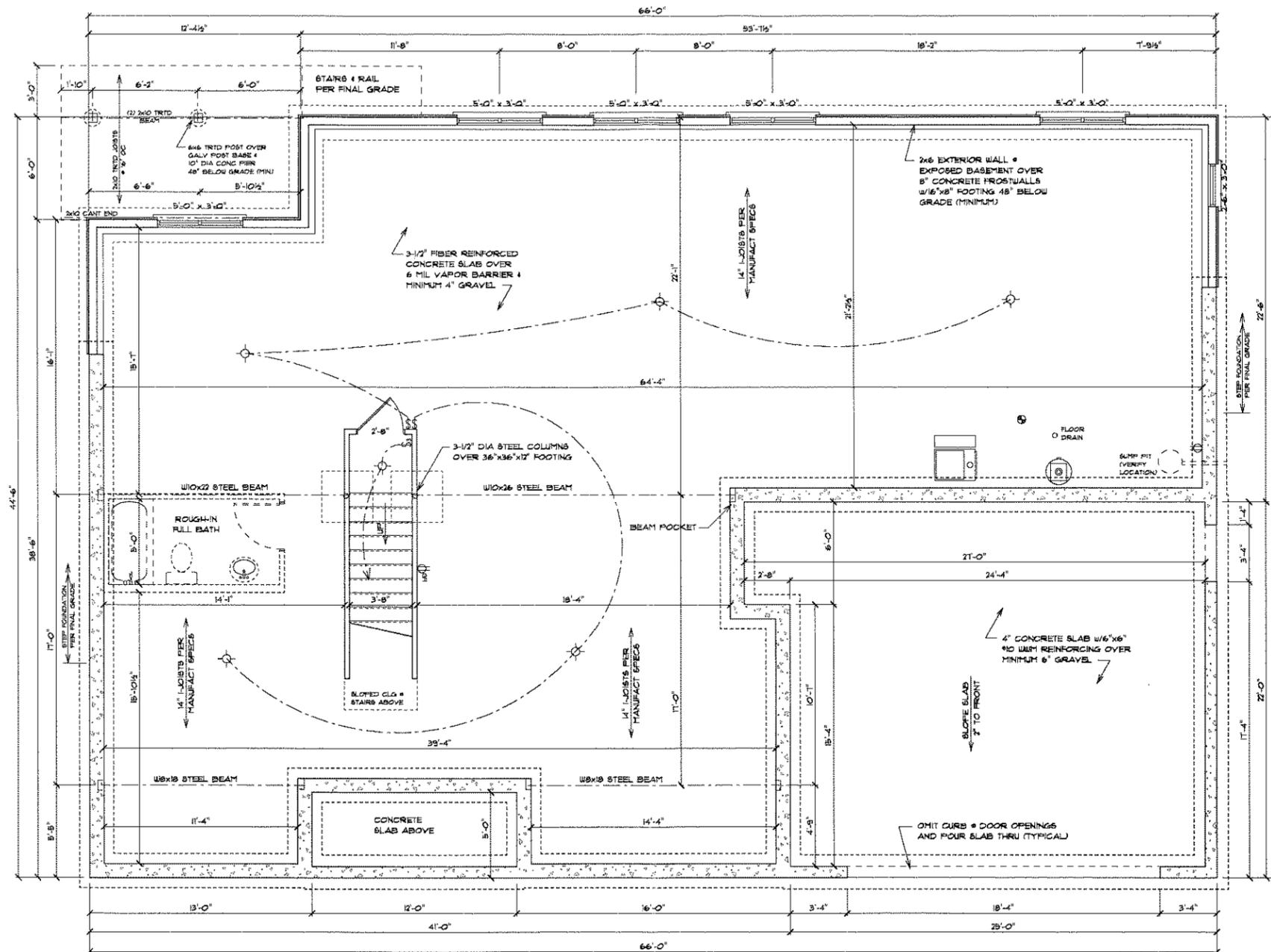
**ROOF PLAN**  
SCALE: 1/8" = 1' 0"

NOTES:  
ROOF TRUSSES PER MANUFACTURERS SPEC6  
10/12 ROOF PITCH TYPICAL (UNLESS NOTED)  
2x6 SUBFASCIA & GABLE RAKE ASSEMBLIES



**MAIN FLOOR PLAN**  
SCALE: 1/4" = 1' 0"  
2,236 sq LIVING

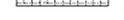
NOTES:  
ALL DIMENSIONS ARE TO THE FACE OF STUDS  
2x6 EXTERIOR WALLS • HOUSE  
3x4 WALLS TYPICAL (UNLESS NOTED)



**FOUNDATION PLAN**  
 SCALE: 1/4" = 1' 0"

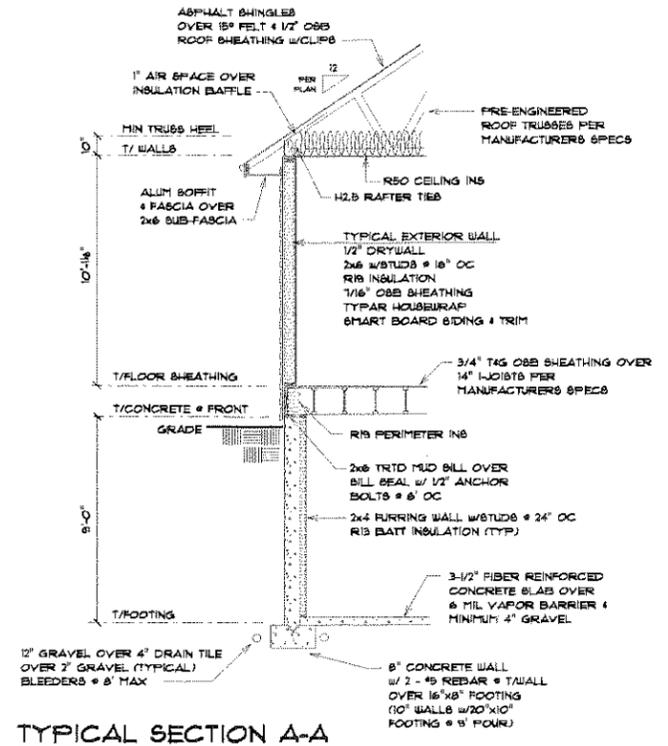
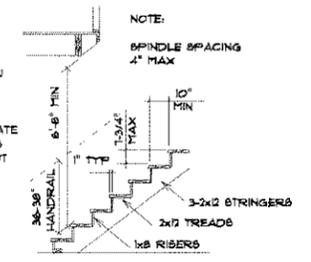
- NOTES:
- 10" CONCRETE WALLS 2' 0" POUR w/20"x10" FOOTING
  - 8" CONCRETE WALLS w/1/2"x6" FOOTING 48" BELOW GRADE MINIMUM (TYP)
  - 2x6 TREATED SILL OVER CONCRETE WALLS • HOUSE
  - 12" GRAVEL OVER 4" DRAIN TILE OVER 2" GRAVEL TYPICAL • PERIMETER

BRACED WALL	METHOD OF WALL BRACING	WALL LENGTH	BRACE PANEL LENGTH	BRACING REQUIRED	ACTUAL BRACING
BASEMENT					
A	WOOD STRUCT PANEL	8' 0"	8' 0"	16%	100%
B	WOOD STRUCT PANEL	6' 0"	8' 0"	16%	100%
D	WOOD STRUCT PANEL	10' 0"	7' 6"	16%	75%
I	WOOD STRUCT PANEL	66' 0"	4' 0"	16%	62.1%
MAIN FLOOR					
A	WOOD STRUCT PANEL	38' 6"	36' 6"	16%	54.8%
B	WOOD STRUCT PANEL	11' 0"	8' 0"	16%	12.1%
C	WOOD STRUCT PANEL	5' 0"	5' 0"	16%	100%
D	WOOD STRUCT PANEL	44' 6"	38' 6"	16%	88.8%
I	WOOD STRUCT PANEL	66' 0"	40' 0"	16%	60.6%
2	GYPSUM WALL BOARD	21' 0"	8' 0"	75%	28.6%
3	WOOD STRUCT PANEL	66' 0"	30' 6"	16%	46.2%

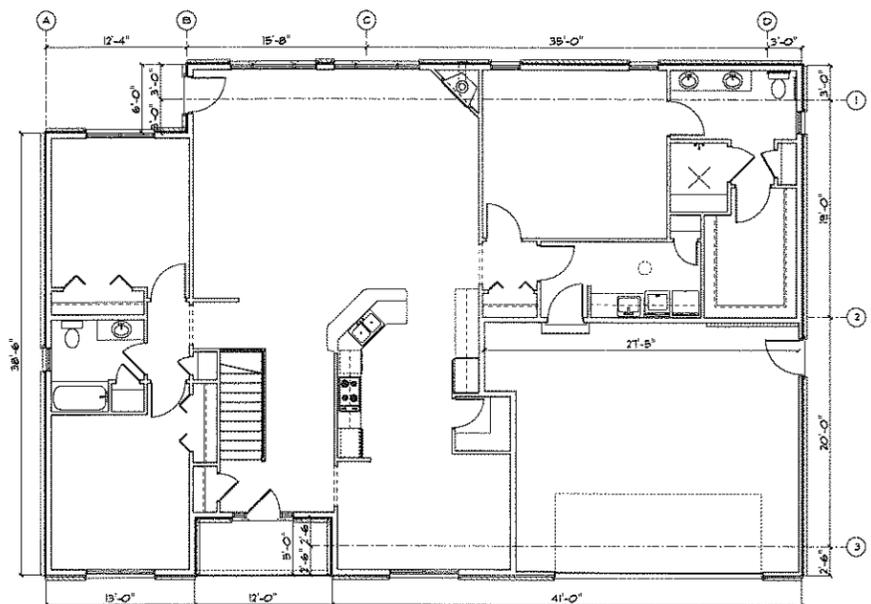
-  CONTINUOUSLY - SHEATHED 1/2" OSB w/ 1/2" RETURN REF COMM 21.25/3.16.2.1. BRACE PANEL LENGTH: REF TABLE 21.25J. PERCENTAGE OF WALL BRACING: REF TABLE 21.25H. FASTENER SPACING: 6" ON EDGES, 12" ON CENTER SUPPORTS REF APPENDIX
-  WOOD STRUCTURAL PANEL - 1/2" OSB REF COMM 21.25/3.16.1.4. BRACE PANEL LENGTH: MIN 42" REF TABLE 21.25G. PERCENTAGE OF WALL BRACING: MIN 16% REF TABLE 21.25H. FASTENER SPACING: 6" ON EDGES 12" ON CENTER SUPPORTS REF APPENDIX
-  1/2" GYPSUM BOARD APPLIED TO BOTH SIDES OF WALL REF COMM 21.25/3.16.1.3. BRACE PANEL LENGTH: MIN 48" REF TABLE 21.25G. PERCENTAGE OF WALL TO BE BRACED: MINIMUM 75% REF TABLE 21.25H. FASTENER SPACING: 1" ON ALL EDGES REF COMM 21.25/3.16.1.3

PORCHES, BALCONIES OR RAISED FLOOR SURFACES MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36" IN HEIGHT. THEY SHALL HAVE INTERMEDIATE RAILS, ORNAMENTAL CLOSURES OR BALUSTERS WHICH WILL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE.

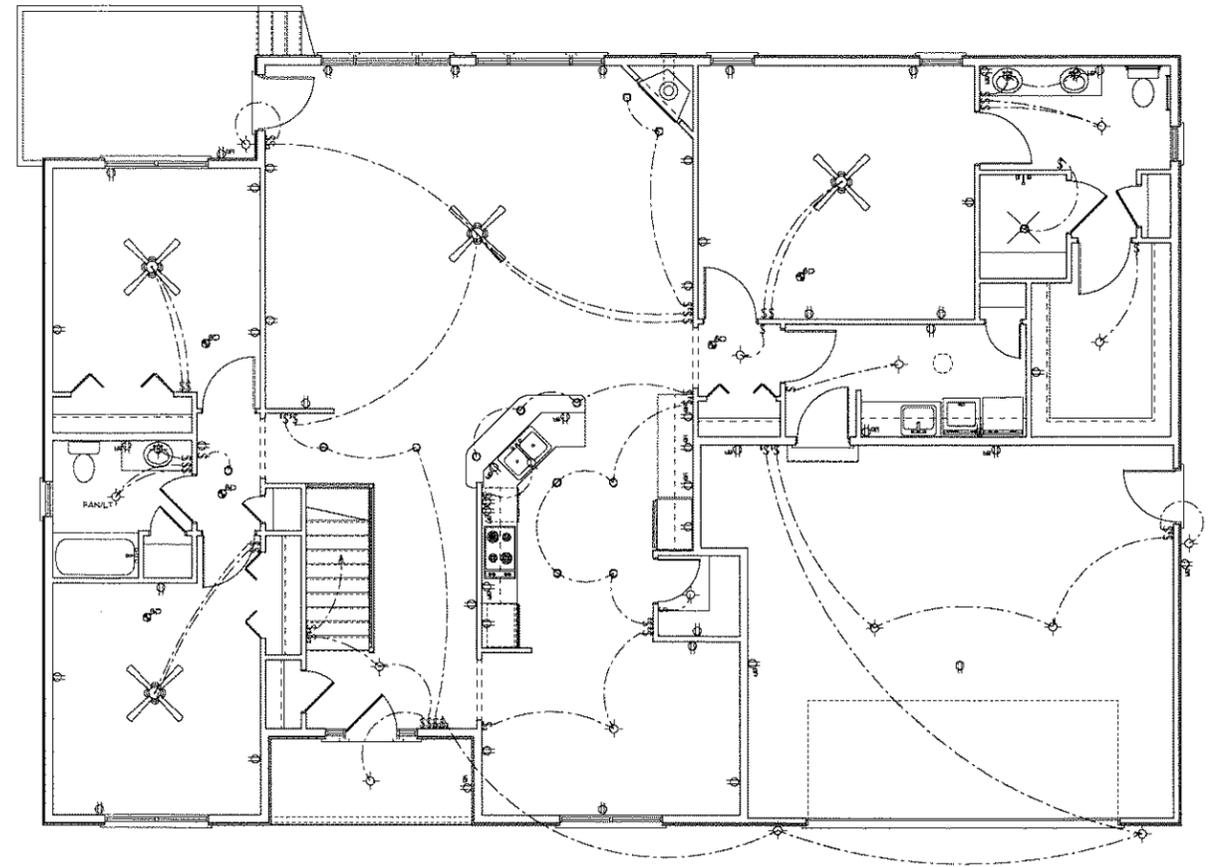
TYPICAL STAIR DETAILS  
SCALE: 1/4" = 1'-0"



TYPICAL SECTION A-A  
SCALE: 1/4" = 1'-0"



MAIN BRACING PLAN  
SCALE: 1/8" = 1'-0"



MAIN ELECTRICAL PLAN  
SCALE: 3/16" = 1'-0"

FRAMING DESIGN CONCEPTS INC  
FDC  
815-878-7790  
framingdesign@charter.net

908 SOUTH WELLS ST  
LAKE GENEVA, WI 53147  
262-249-0009  
262-249-0008  
genevalakedreamhomes.com

GENEVA LAKE DREAM HOMES, LLC

KLINGENBERG RESIDENCE  
LAKE GENEVA, WI 53147  
ELECT PLAN w/SECTION & DETAILS

DATE  
1-21-14

SHEET NO.  
5

# CITY OF LAKE GENEVA

626 GENEVA STREET  
LAKE GENEVA, WISCONSIN 53147  
(262) 248-3673 • Fax (262) 248-4715  
www.cityoflakegeneva.com



**TO:** MAYOR JIM CONNORS AND COMMON COUNCIL

**FROM:** CITY ADMINISTRATOR DENNIS JORDAN *Dennis E. Jordan*

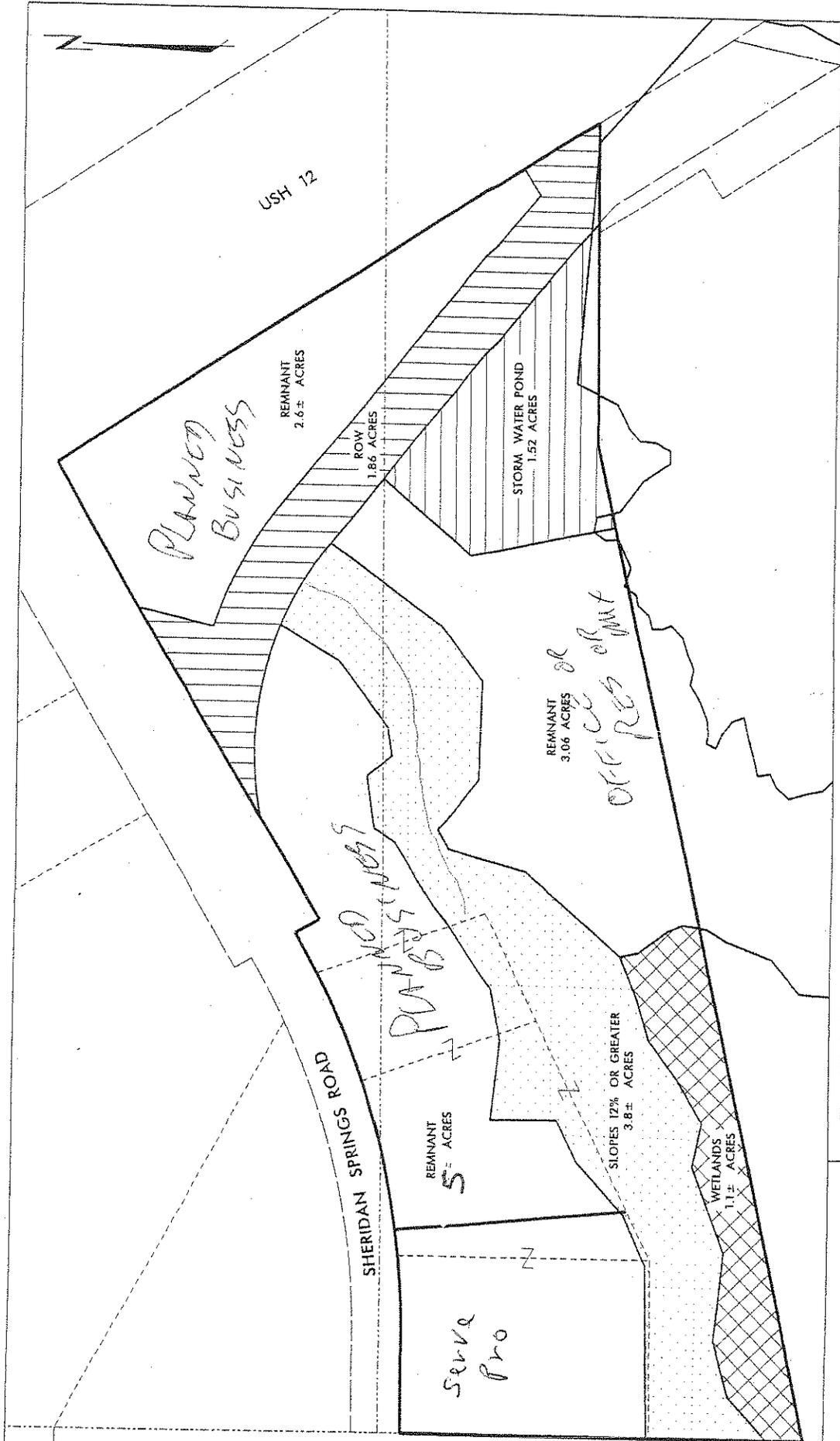
**DATE:** MARCH 24, 2014

**RE:** CONSIDERATION OF SALE OF NORTH EDWARDS BOULEVARD PROPERTY

**Background:** In December of 2009 the City of Lake Geneva purchased 19.09 acres of land from WE Energies for road right-of-way and other property. In 2011 the City sold 2.1 acres at the west end of the property to Serve Pro and has retained the remainder of the land. Because of the downturn in the economy, the Common Council decided to hold the land until the economy showed signs of recovery. Finance Chairman Hill has requested that this item be placed on the agenda for consideration of whether the City should continue to hold the land or to sell it. Enclosed in your packet is a map of the property with acreages and current zoning. There is approximately 10 acres that can be developed.

**Recommendation:** Discuss and direct staff accordingly.

REVISION/PLDT DATE Exhibit MSG Remnants.dgn 01-19-09 MWR



**CRISPPELL-SNYDER, INC.**  
 PROFESSIONAL CONSULTANTS  
 Lake Geneva 42715-1525 Rockton, WI 53151 2611 Milwaukee Professional District 9000  
 Phone 425/351-1525 Fax 425/351-4725

EDWARDS BOULEVARD FRONTAGE ROAD CONNECTION | WISCONSIN SOUTHERN GAS COMPANY, INC | REMNANT PARCELS R08-0014-101

LOCATION: CITY OF LAKE GENEVA  
 WALWORTH COUNTY, WISCONSIN

SCALE: 1" = 120' DATE: JANUARY 2009 DRAWN BY: M. RUBENDALL

# CITY OF LAKE GENEVA

626 GENEVA STREET  
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(262) 248-3673 • Fax (262) 248-4715  
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**TO:** MAYOR JIM CONNORS AND COMMON COUNCIL

**FROM:** CITY ADMINISTRATOR DENNIS JORDAN *Dennis E. Jordan*

**DATE:** MARCH 24, 2014

**RE:** APPROVE SELLING OLD CHRISTMAS DECORATIONS

**Background:** While doing some early spring cleaning, the street department discovered some old and very used Christmas decorations. The Public Works Committee discussed if the decorations were worthy of any future use. After some discussion, the Public Works Committee stated they would not like to see the decorations on any light posts and recommended that the Common Council approve the sale of the decorations as surplus. Staff agrees with the Public Works Committee recommendation.

**Recommendation:** Approve the sale of old wreath Christmas decorations.



# CITY OF LAKE GENEVA

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**TO: MAYOR JIM CONNORS AND COMMON COUNCIL**

**FROM: CITY ADMINISTRATOR DENNIS JORDAN** *Dennis E. Jordan*

**DATE: March 24, 2014**

**Re: CONCESSIONAIRE AGREEMENT FOR DUNN FIELD**

**Background:** The Park Board advertised for bids for a concessionaire to serve food and beverages at Dunn Field. The Park Board received two bids. One was from Ro-Della, Inc. offering \$500. for the year and the other was from Tanya Kasten in the amount of \$1,000. After interviewing both bidders, the Park Board made a motion to recommend the Common Council award the bid to Tanya Kasten. The Agreement is for one year and the Park Board stated they wanted to review the performance of the concessionaire in September of 2014.

**Recommendation:** The recommendation was to have the Common Council award the Dunn Field concessionaire Agreement to Tanya Kasten for the amount of \$1,000 for the year 2014.

## **CONCESSION AGREEMENT**

**Concession Agreement made on April 12, 2014, between the City of Lake Geneva (“City”), and Tanya Kasten. (“Concessionaire”),**

**For valuable consideration, City grants to Concessionaire the privilege of operating a concession stand on park grounds of the City at Dunn Field Park to be located in the concession/bathroom building on the following terms and conditions:**

**1. Concessionaire agrees to pay the City the amount of \$1000.00, made in one installment by June 1<sup>st</sup>.**

**2. Concessionaire agrees to have the concession stand open during the spring and summer season (April 15<sup>th</sup> through September 15<sup>th</sup>), or later as mutually agreed upon by both parties. As a minimum, Concessionaire shall establish post and comply with, weekend and/or daily hours of business during seasonal organized sports activities.**

**3. Concessionaire agrees to supply for sale of sufficient vendible articles of a ballpark type and sufficient quantities to satisfy demands of patrons of the park at the times when organized sport activities are conducted until closing at end of each season.**

**4. Concessionaire shall procure at his or her own costs and expense all necessary licenses and permits necessary for carrying out provisions of this contract.**

**5. Concessionaire shall provide adequate and appropriate containers which are not unsightly for the temporary storage of trash and garbage and provide, as necessary, for the regular pick up of such trash and garbage, and shall not permit any unattractive or unsanitary accumulation of trash, debris or litter on the premises hereto relevant at all times during which concessions are operated within the park. The piling of boxes, cartons, drums, can or similar items, shall not be permitted outside of designated concession areas. The City shall be responsible for removal of the normal trash and garbage.**

**6. All notices and orders given to concessionaire shall be sent to Tanya Kasten.**

**7. Prior to termination of this Agreement or on or before October 1<sup>st</sup> of 2014, unless approved specifically by the City, Concessionaire shall remove from the concession stand at Dunn Field Park all personal property, supplies, goods and effects. On his or her failure to do so, City, and/or its employees, officers and agents, may cause such removal to be made and the property, supplies, goods and effects shall be stored at cost and expense of Concessionaire. City may exercise lien rights thereon for cost and expense of such removal and storage. The Park Board has**

requested that this lease be reviewed at the September meeting of the Park Board to determine if proper service was provided and if the lease should be renewed.

8. No improvement shall be made to City property without the City's consent. Any permanent on-site improvements made during the course of the Agreement are to revert to the City at termination of the contract. Any City provided improvements shall be operated and properly maintained by the Concessionaire.

9. The Concessionaire shall pay all license fees and taxes that may be imposed by any City, State or Federal authorities.

10. Concessionaire will procure and maintain during the entire term of this Agreement, or any renewal or extension period thereof, a public liability insurance policy which covers liability for products made or sold by Concessionaire, with the City stated as an additional insured. Liability insurance shall be provided at all times in a minimum amount of One Million (\$1,000,000) Dollars single limits coverage, per person, and per occurrence, covering death, personal injury and property loss or damage.

11. The Concessionaire shall hold the City harmless from the payment of all claims or demands arising out of this Agreement. The Concessionaire shall indemnify the City from all suits or actions brought against the City or on the account of injury or damages received or sustained by any party or parties by or from the said Concessionaire, his servants or agents, in the exercise of the rights and privileges granted in this Agreement, including all attorney fees incurred by the City in defense of such claims or demands.

12. The City reserves the right to cancel or terminate this Agreement, upon ten (10) days advance written notice.

**CONCESSIONAIRE**

**CITY OF LAKE GENEVA**

By: \_\_\_\_\_  
Tanya Kasten

By: \_\_\_\_\_  
Mayor James R. Connors

Attest:

By: \_\_\_\_\_  
Timothy Neubeck City Clerk

# CITY OF LAKE GENEVA

626 GENEVA STREET  
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www.cityoflakegeneva.com



DENNIS E. JORDAN  
CITY ADMINISTRATOR

TO: MAYOR JIM CONNORS AND COMMON COUNCIL

DEJ FROM: CITY ADMINISTRATOR DENNIS JORDAN

DATE: MARCH 24, 2014

RE: VETERAN'S PARK CONCESSION AGREEMENT

**Background:** The Park Board advertised for concessionaires to provide food and beverages at the City's Veteran's Park. There was one bid received from Ro-Della, Inc., the current vendor at the park. Ro-Della made a bid of \$1500. per year for the two year contract. The Park Board discussed Ro-Della's past performance and felt they were providing good service to park users. The Park Board recommends that the Common Council approve the new two year contract with Ro-Della, Inc.

**Recommendation:** That the Common Council approve the two year concession contract with Ro-Della, Inc., for vendor services to Veteran's Park.

## **CONCESSION AGREEMENT**

**Concession Agreement made on April 12, 2014, between the City of Lake Geneva (“City”), and Rod Brenner, DBA Ro-Della, Inc. (“Concessionaire”),**

**For valuable consideration, City grants to Concessionaire the privilege of operating a concession stand on park grounds of the City at Veteran’s Park to be located in the concession/bathroom building on the following terms and conditions:**

**1. Concessionaire agrees to pay the City the amount of \$1500.00, made in one installment by June 1<sup>st</sup>, 2014 for the year 2014 and \$1500.00 in one installment by June 1<sup>st</sup>, 2015 for 2015.**

**2. Concessionaire agrees to have the concession stand open during the spring and summer season (April 15<sup>th</sup> through September 15<sup>th</sup>), or later as mutually agreed upon by both parties. As a minimum, Concessionaire shall establish post and comply with, weekend and/or daily hours of business during seasonal organized sports activities.**

**3. Concessionaire agrees to supply for sale of sufficient vendible articles of a ballpark type and sufficient quantities to satisfy demands of patrons of the park at the times when organized sport activities are conducted until closing at end of each season.**

**4. Concessionaire shall procure at his or her own costs and expense all necessary licenses and permits necessary for carrying out provisions of this contract.**

**5. Concessionaire shall provide adequate and appropriate containers which are not unsightly for the temporary storage of trash and garbage and provide, as necessary, for the regular pick up of such trash and garbage, and shall not permit any unattractive or unsanitary accumulation of trash, debris or litter on the premises hereto relevant at all times during which concessions are operated within the park. The piling of boxes, cartons, drums, can or similar items, shall not be permitted outside of designated concession areas. The City shall be responsible for removal of the normal trash and garbage.**

**6. All notices and orders given to concessionaire shall be sent to Rod Brenner .**

**7. Prior to termination of this Agreement or on or before October 1<sup>st</sup> of 2015, unless approved specifically by the City, Concessionaire shall remove from the concession stand at Veteran’s Park all personal property, supplies, goods and effects. On his or her failure to do so, City, and/or its employees, officers and agents, may cause such removal to be made and the property, supplies, goods and effects shall be stored at cost and expense of Concessionaire. City may exercise lien rights thereon for cost and expense of such removal and storage.**

8. No improvement shall be made to City property without the City's consent. Any permanent on-site improvements made during the course of the Agreement are to revert to the City at termination of the contract. Any City provided improvements shall be operated and properly maintained by the Concessionaire.

9. The Concessionaire shall pay all license fees and taxes that may be imposed by any City, State or Federal authorities.

10. Concessionaire will procure and maintain during the entire term of this Agreement, or any renewal or extension period thereof, a public liability insurance policy which covers liability for products made or sold by Concessionaire, with the City stated as an additional insured. Liability insurance shall be provided at all times in a minimum amount of One Million (\$1,000,000) Dollars single limits coverage, per person, and per occurrence, covering death, personal injury and property loss or damage.

11. The Concessionaire shall hold the City harmless from the payment of all claims or demands arising out of this Agreement. The Concessionaire shall indemnify the City from all suits or actions brought against the City or on the account of injury or damages received or sustained by any party or parties by or from the said Concessionaire, his servants or agents, in the exercise of the rights and privileges granted in this Agreement, including all attorney fees incurred by the City in defense of such claims or demands.

12. The City reserves the right to cancel or terminate this Agreement, upon ten (10) days advance written notice.

**CONCESSIONAIRE**

**CITY OF LAKE GENEVA**

By: \_\_\_\_\_  
Rod Brenner

By: \_\_\_\_\_  
Mayor James R. Connors

Attest:

By: \_\_\_\_\_  
Timothy Neubeck City Clerk

Resolution No: 14-R09

WHEREAS, the Fire Department received Act 102 monies from the State of Wisconsin in the amount of \$5,168.80 in 2013, and,

WHEREAS, the Fire Department had \$19,708.78 in the Designated Fund Balance-EMS Act 102 Program account as of 1/1/13, and

WHEREAS, the Fire Department spent \$9,753.19 of their Act 102 monies in 2013 and \$5,652.55 in 2011 that was never adjusted,

WHEREAS, the Police & Fire Commission will have this transfer before them at their meeting held April 10, 2014,

BE IT THEREFORE RESOLVED, that the Common Council approves the adjustment of the Designated Fund Balance-EMS Act 102 Program account as follows:

Decrease Acct # 11 00-00 3449, Designated Fund Balance-EMS Act 102, by \$10,236.94.  
Increase Acct # 11 00-00 3480, Undesignated Fund Balance, by \$10,236.94.

Adopted this 24<sup>th</sup> day of March, 2014.

APPROVED:

---

James R. Connors, Mayor

ATTEST:

---

Timothy Neubeck, City Clerk

Resolution No: 14-R22

WHEREAS, the Common Council approved the 2013 Operating Budget for the General Fund which includes revenue from transfers from the Parking Fund and the Lakefront Fund, and

WHEREAS, it was previously approved that all but \$75,000 of revenues over expenditures from each of these Special Revenue Funds be transferred to the General Fund, and

WHEREAS, it is still desirable to have a fund balance remaining in each of these Special Revenue Funds and the level that would be most appropriate is \$675,000 for the Lakefront Fund and \$675,000 for the Parking Fund and that the excess could be transferred to the General Fund by the year end 2013, and

BE IT THEREFORE RESOLVED, that the Common Council adopts a resolution to transfer to the General Fund, at year end 2013, an amount of \$275,048.94 from the Lakefront Special Revenue Fund and an amount of \$566,642.69 from the Parking Lots & Meters Special Revenue Fund which will leave a \$75,000 addition to the fund balance in each of these funds.

Adopted this 24<sup>th</sup> day of March, 2014.

APPROVED:

---

James R. Connors, Mayor

ATTEST:

---

Timothy Neubeck, City Clerk

Resolution No: 14-R23

**RESOLUTION HONORING DAN THOMPSON FOR HIS SERVICE TO  
WISCONSIN MUNICIPALITIES**

**Whereas**, Dan Thompson was hired as the League of Wisconsin Municipalities' fourth Executive Director on March 13, 1989; and

**Whereas**, during his tenure Dan oversaw steady growth in the League's membership; and

**Whereas**, Dan wrote over 250 insightful columns for the Municipality magazine and facilitated or spoke at over 300 League meetings and conferences; and

**Whereas**, In 2003 Dan oversaw the creation of the League of Wisconsin Municipalities Mutual Insurance Company, which today insures 373 municipalities; and

**Whereas**, In 2010 Dan oversaw the merger of the Wisconsin Alliance of Cities with the League of Wisconsin Municipalities and in 2011 the creation of the Urban Alliance within the League as a forum for large municipalities to discuss and advocate on issues of concern to urban areas; and

**Whereas**, Dan has announced that he is retiring as Executive Director on March 31, 2014.

**Now, Therefore, Be It Resolved**, that the Common Council of the City of Lake Geneva, on behalf of its citizens, honors Dan Thompson for a job well done; and expresses deep and sincere appreciation for his 25 years of leadership and service; and wishes him a happy retirement.

---

Jim Connors, Mayor

---

Timothy Neubeck, City Clerk

Dated: March 24, 2014

# CITY OF LAKE GENEVA

626 GENEVA STREET  
LAKE GENEVA, WISCONSIN 53147  
(262) 248-3673 • Fax (262) 248-4715  
www.cityoflakegeneva.com



**TO:** MAYOR JIM CONNORS AND COMMON COUNCIL

**FROM:** CITY ADMINISTRATOR DENNIS JORDAN *Dennis E. Jordan*

**DATE:** MARCH 24, 2014

**RE:** COOK STREET LOT PARKING STRUCTURE

**Background:** The Parking Committee reviewed the various sites that are being considered for a parking structure. All of the sites were inspected by two different parking structure contractors and architects. Both stated that the Cook Street Lot was the best alternative. I was also asked to call Mike Slavney the City Planner on his thoughts on which site might be best to consider. He stated that the Cook Street Lot was the best location in his opinion. The Mayor will present a power point presentation on the parking structure.

**Recommendation** Direct staff to prepare an RFP for a parking structure to be built on the Cook Street Parking Lot with aesthetics that fit with the Maple Park Historic District and the Downtown District.

**City of Lake Geneva  
Parking Commission Minutes  
Conference Room 2A  
Thursday March 6, 2014**

1. Meeting was called to order by Chair Smith at 6:00 p.m.
2. Roll Call: Marty Smith, Kevin Fleming, Dennis Swangstu, Sarah Hill, and Darien Schaefer. Also attending Mayor Jim Connors, Dennis Jordon. Absent: John Button.
3. Minutes for the February 25 meeting were reviewed. Sarah Hill moved to approve the minutes, seconded by Kevin Fleming, approved unanimously.
4. Comments from the Public.

Bev Leonard, 1504 Dodge St, Lake Geneva, Delaney St Mercantile –The #1 complaint from customers is parking. Cook St is the best location. It's close to the Beach, Riviera, Maple Park, Central Dennison School.

Charlene Klein, 817 Wisconsin St –The design element very important.

Candy Kirchberg, 917 Marshal St - Close proximity of the location to where drivers want to go is important.
5. Parking Structure - This project will have to be added to the current TIF projects by the TIF Review Board. The US Bank property not for sale. Buying it for a parking structure would require a rezone which would also involve a rewrite of the Comprehensive Plan. The property value of the bank building and lot is @1.7 million. Bank parking includes two additional lots. The height limit for downtown structures is 45'. An elevator shaft would not count towards this height limit. No variance would be needed for an elevator. Design is very important. The structure must fit in with the Maple Park Historic District. State requirement is for 2% of parking spaces to be designated Handicapped - 7 spaces. Darien Schaefer said the Chamber and CVB support building a ramp and the Cook Street location. Motion by Sarah Hill - The Parking Commission recommends to City Council the Cook Street location. The parking structure to be built on the current foot print of the Cook Street parking lot. The Parking Ramp to go with the aesthetics of the Maple Park Historic District and the Downtown District. This follows the recommendations from the Parking Study by Rich and Associates and from Michael Slavney the City's planner. Then to proceed to the next step of a Design Consultant. Seconded by Dennis Swangstu, passed unanimously. This action will be on City Council agenda on 3/24/2014.
6. The next Parking Commission meeting will be held on April 16, 6:00 pm.
7. Adjournment – Motion by Sarah Hill, seconded by Kevin Fleming, passed unanimously. The meeting ended at 7:30 pm.

**City of Lake Geneva  
Council Meeting  
March 24, 2014**

**Prepaid Checks  
3/7/14 through 3/20/14**

**\$10,258.07**

**ACCOUNTS PAYABLE PREPAID ITEMS OVER \$5,000**

**COUNCIL MEETING DATE OF: 3/24/2014**

**TOTAL PREPAID ACCOUNTS PAYABLE - 2/21/14 THROUGH 3/6/14** **\$10,258.07**

**ITEMS > \$5,000**

Safe Step - Sidewalk Grinding 9,973.07

**BALANCE OF OTHER ITEMS** **\$ 285.00**





**City of Lake Geneva  
Council Meeting  
March 24, 2014**

**Accounts Payable Checks - through 3/20/14**

	<u>Fund #</u>	
1. General Fund	11	\$ 155,817.70
2. Debt Service	20	\$ 933,594.84
3. TID #4	34	\$ -
4. Lakefront	40	\$ 10,818.51
5. Capital Projects	41	\$ 1,395.76
6. Parking	42	\$ 8,735.97
7. Cemetery	48	\$ 1,131.20
8. Library Fund	99	\$ 18,508.62
9. Impact Fees	45	\$ -
10. Tax Agency Fund	89	\$ -
<b>Total All Funds</b>		<b><u><u>\$1,130,002.60</u></u></b>

**CITY OF LAKE GENEVA  
ACCOUNTS PAYABLE UNPAID ITEMS OVER \$5,000**

**COUNCIL MEETING DATE OF: 3/24/2014**

**TOTAL UNPAID ACCOUNTS PAYABLE - THROUGH 3/20/14** 1,130,002.60

**ITEMS > \$5,000**

Bond Payments - Principal and Interest	933,500.00
R & R Insurance Services Inc - Worker's Comp & Liability Renewals	125,055.00
Alliant Energy - February Electric Bills	19,709.40
Lakeshores Library System - 2014 Support Fees	17,043.72

Balance of Other Items \$ **34,694.48**

DATE: 03/21/14  
TIME: 15:16:13  
ID: AP441000.WOW

CITY OF LAKE GENEVA  
DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 03/25/2014

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
1000B	1000BULBS.COM						
G66964	11/22/13	01	BULBS	4055205350		03/25/14	307.37
						INVOICE TOTAL:	307.37
						VENDOR TOTAL:	307.37
ALLIANT	ALLIANT ENERGY						
RE031714	03/18/14	01	INV 101952-010-SNAKE RD/HWY 50	1134105222		03/25/14	10.30
		02	INV 106985-010-STREET LIGHTS	1134105223			7,247.61
		04	INV 124743-010-S LAKE SHORE DR	1152005222			18.08
		05	INV 127818-010-W HWY 50 BLOCK	1134105222			10.30
		06	INV 140837-010-S LAKE SHORE DR	1134105222			7.25
		07	INV 147744-014-1070 CAREY	1132105222			169.45
		08	INV 178856-010-GEORGE ST	1134105222			7.25
		09	INV 184924-010-COBB PARK	1152005222			7.27
		10	INV 188965-013-1065 CAREY	1132105222			648.49
		11	INV 216918-010-CITY HALL	1116105222			2,539.98
		12	INV 239783-010-CENTRAL SCHOOL	1152005222			7.53
		13	INV 243947-013-1055 CAREY	1132105222			157.62
		14	INV 268954-010-FLAT IRON PK	1152005222			164.13
		15	INV 278857-010-OAK HILL CEM	4800005222			29.41
		16	INV 279779-010-918 MAIN ST	9900005222			891.07
		17	INV 292807-010-WELLS ST	1134105222			69.12
		18	INV 302769-011-DUNN BASEBALL	1152005922			463.88
		20	INV 318816-010-HWY 50/HWY 12	1134105222			9.80
		21	INV 335773-010-WELLS ST	1134105222			9.41
		22	INV 336765-010-FLAT IRON PK	1152005222			9.52
		23	INV 355867-010-DODGE ST	1134105222			8.08
		24	INV 375931-010-RIVIERA	4055305222			2,111.61
		25	INV 392817-010-LIBRARY PK	1152005222			28.86
		27	INV 433829-010-FIRE HOUSE	1122005222			871.37
		28	INV 433906-010-HAVENWOOD	1134105222			6.95
		29	INV 489578-003-MUSEUM	1151105222			623.98
		30	INV 492771-003-GENEVA SQ	1134105223			34.67
		31	INV 514311-001-BAKER/SEMINARY	1152005222			9.55

DATE: 03/21/14  
TIME: 15:16:14  
ID: AP441000.WOW

CITY OF LAKE GENEVA  
DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 03/25/2014

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
ALLIANT	ALLIANT ENERGY						
RE031714	03/18/14	32	INV 517852-001-SAGE ST/DUNN	1129005222		03/25/14	9.03
		33	INV 544872-001-VETS PK/TOWNLIN	1152015222			151.77
		34	INV 551929-001-OAH HILL CEM	4800005222			325.69
		35	INV 560544-002-1003 HOST DR	1122005222			470.76
		36	INV 589078-001-RUSH ST	1152005222			18.76
		37	INV 589905-001-BEACH HOUSE	4054105222			278.65
		38	INV 590084-001-DONIAN PK	1152005222			110.37
		39	INV 594309-001-STREET LIGHTS	1134105223			299.20
		40	INV 605259-001-GENEVA ST LOT	1134105223			157.19
		41	INV 614948-001-VETS PK SCOREBO	1152015222			163.15
		43	INV 621606-001-WELLS ST	1134105222			8.19
		44	INV 621825-001-S WELLS	1134105222			9.90
		46	INV 626232-001-HWY 50/HWY 12	1134105222			38.55
		47	INV 627270-001-730 MARSHALL ST	1129005222			17.25
		48	INV 628749-001-W COOK SIREN	1129005222			9.77
		49	INV 640082-001-201 EDWARDS SIR	1129005222			9.77
		50	INV 652115-002-WALMART	1134105223			94.17
		51	INV 653994-001-HWY 120/TOWNLIN	1134105222			89.31
		52	INV 654168-001-HWY 50 SIGNAL	1134105223			144.34
		53	INV 656566-001-HWY 120/BLOOMFI	1134105223			113.30
		54	INV 657276-002-389 EDWARDS	1134105223			82.58
		55	INV 675414-001-VETS PK PAVILN	1152015222			151.77
		56	INV 679833-001-LOT LITE	1134105223			249.11
		59	INV 696255-001-SHARED SAVINGS	9900005663			10.41
		60	INV 696255-001-SHARED SAVINGS	9900005623			129.41
		61	INV 696255-001-SHARED SAVINGS	2081005664			7.50
		62	INV 696255-001-SHARED SAVINGS	2081005625			87.34
		63	INV 699860-001-IMPOUND	1121005222			55.95
		64	INV 703098-001-LIB PK RESTROOM	1152005222			28.12
		65	INV 703615-001-MAIN ST LIGHTS	1134105223			163.00
		66	INV 710858-001-INTRCHG N SIGNL	1134105223			52.55
						INVOICE TOTAL:	19,709.40
						VENDOR TOTAL:	19,709.40

BRUCE BRUCE MUNICIPAL EQUIPMENT INC

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-----							
BRUCE	BRUCE MUNICIPAL EQUIPMENT INC						
5140874	03/03/14	01	BROOM MOTOR-SWEEPER 32	1132105250		03/25/14	793.68
						INVOICE TOTAL:	793.68
						VENDOR TOTAL:	793.68
BUBRI	BUBRICK'S COMPLETE OFFICE						
873508	03/07/14	01	HEADSET,RUBBERBANDS	1124005310		03/25/14	22.09
		02	PENCILS	4052115352			6.50
						INVOICE TOTAL:	28.59
						VENDOR TOTAL:	28.59
BUMPL	BUMPER TO BUMPER AUTO PARTS						
662-285248	03/06/14	01	MIRROR-TK 3	4800005250		03/25/14	16.22
						INVOICE TOTAL:	16.22
						VENDOR TOTAL:	16.22
CARSTRO	RON CARSTENSEN						
CELL-11/13	03/18/14	01	CELL CHGS OCT-NOV	1132105221		03/25/14	137.44
						INVOICE TOTAL:	137.44
CELL-12/13	03/18/14	01	DEC CELL PAID BY CITY	1100002159		03/25/14	-64.27
						INVOICE TOTAL:	-64.27
						VENDOR TOTAL:	73.17
CDW	CDW GOVERNMENT INC						
HT72365	01/18/14	01	TWO I-PADS W/CASES	4122001213		03/25/14	1,395.76
						INVOICE TOTAL:	1,395.76
						VENDOR TOTAL:	1,395.76
CES	CES						
LKG/021346	12/26/13	01	SPOT LIGHTS	4055205350		03/25/14	119.90
						INVOICE TOTAL:	119.90

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-----							
CES	CES						
LKG/021501	01/23/14	01	SHOP LAMP BULBS	1132105350		03/25/14	129.25
						INVOICE TOTAL:	129.25
LKG/021561	02/04/14	01	BALLASTS	1132105350		03/25/14	54.14
						INVOICE TOTAL:	54.14
LKG/021604	02/11/14	01	SHOP LAMP BULBS	1132105350		03/25/14	10.29
						INVOICE TOTAL:	10.29
						VENDOR TOTAL:	313.58
CITYDE CITY OF DELAVAN							
WARRANT-3/14	03/17/14	01	WARRANT-PEREZ 4011023	1112002428		03/25/14	112.00
						INVOICE TOTAL:	112.00
						VENDOR TOTAL:	112.00
CITYWA CITY OF WAUWATOSA							
DUES-3/14	03/17/14	01	WI ALPR ASSOC DUES-GRITZNER	1121005399		03/25/14	100.00
						INVOICE TOTAL:	100.00
						VENDOR TOTAL:	100.00
CORDE JODI CORDES							
REIMB-2/14	02/12/14	01	TRAINING MILEAGE-180 MILES	1121005330		03/25/14	100.80
						INVOICE TOTAL:	100.80
						VENDOR TOTAL:	100.80
DES DATA EQUIPMENT SERVICES							
81	03/14/14	01	FEB-MAR MODEM SVC	4234505221		03/25/14	1,890.00
		02	FEB-MAR MODEM SVC	4054105221			90.00
		03	CORR DEC-JAN MODEM SVC	4234505221			90.00
		04	CORR DEC-JAN MODEM SVC	4054105221			-90.00
						INVOICE TOTAL:	1,980.00
						VENDOR TOTAL:	1,980.00

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-----							
DIGIT	DIGITAL PAYMENT TECHNOLOGIES						
194892	03/01/14	01	APR EMS FEES	4234505450		03/25/14	2,835.00
						INVOICE TOTAL:	2,835.00
						VENDOR TOTAL:	2,835.00
DOWN	DOWN TO EARTH CONTRACTORS INC						
5498	02/27/14	01	GRAVE OPENINGS-2	4800005420		03/25/14	340.00
						INVOICE TOTAL:	340.00
						VENDOR TOTAL:	340.00
DUNN	DUNN LUMBER & TRUE VALUE						
551248	02/04/14	01	BARREL BOLT,FASTENERS	1121005399		03/25/14	39.95
		02	DISCOUNT	1100004819			-1.80
						INVOICE TOTAL:	38.15
551857	02/12/14	01	FLASHLIGHT,CLEANER	4800005350		03/25/14	11.78
						INVOICE TOTAL:	11.78
553586	03/03/14	01	CHANNEL LOCK PLIERS	1122005350		03/25/14	15.99
		02	DISCOUNT	1100004819			-0.80
						INVOICE TOTAL:	15.19
553640	03/03/14	01	AXE HANDLE	1122005351		03/25/14	13.99
		02	DISCOUNT	1100004819			-0.70
						INVOICE TOTAL:	13.29
554262	03/10/14	01	ICE MELT SALT	1116105350		03/25/14	11.98
						INVOICE TOTAL:	11.98
554281	03/10/14	01	CLEANERS, SPONGES, NUTS, BOLTS	4055205350		03/25/14	18.22
		02	DISCOUNT	1100004819			-0.91
						INVOICE TOTAL:	17.31
554309	03/10/14	01	CLEANERS,STEEL PADS	4055205350		03/25/14	7.48

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DUNN	DUNN LUMBER & TRUE VALUE						
554309	03/10/14	02	DISCOUNT	1100004819		03/25/14	-0.37
						INVOICE TOTAL:	7.11
554353	03/11/14	01	CLEANERS, SPONGES	4055205350		03/25/14	18.46
		02	DISCOUNT	1100004819			-0.92
						INVOICE TOTAL:	17.54
554405	03/11/14	01	CEILING LIGHT LENS-RIV KITCHEN	4055205350		03/25/14	12.79
		02	DISCOUNT	1100004819			-0.64
						INVOICE TOTAL:	12.15
554437	03/11/14	01	CLEANERS	4055205350		03/25/14	21.96
		02	DISCOUNT	1100004819			-1.10
						INVOICE TOTAL:	20.86
554443	03/11/14	01	CONNECTORS, NUTS, BOLTS	1132105250		03/25/14	53.83
		02	DISCOUNT	1100004819			-2.69
						INVOICE TOTAL:	51.14
554488	03/12/14	01	DUCT TAPE, WAX RINGS, GLUE	4055205350		03/25/14	21.56
		02	DISCOUNT	1100004819			-1.08
						INVOICE TOTAL:	20.48
554501	03/12/14	01	SWITCH, PUTTY KNIVES	9900005350		03/25/14	20.28
		02	DISCOUNT	9900004819			-2.03
						INVOICE TOTAL:	18.25
554507	03/12/14	01	BRUSHES	4055205350		03/25/14	3.29
		02	DISCOUNT	1100004819			-0.16
						INVOICE TOTAL:	3.13
554548	03/12/14	01	GLUE CAULK-STREET SIGNS	1134105260		03/25/14	9.87
						INVOICE TOTAL:	9.87
554571	03/12/14	01	HOLE SAW	1132105340		03/25/14	7.99

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DUNN	DUNN LUMBER & TRUE VALUE						
554571	03/12/14	02	DISCOUNT	1100004819		03/25/14	-0.40
						INVOICE TOTAL:	7.59
554575	03/12/14	01	CLEANERS	4055205350		03/25/14	14.97
		02	DISCOUNT	1100004819			-0.75
						INVOICE TOTAL:	14.22
554712	03/14/14	01	PAINT-STREET MARKING	1134105370		03/25/14	17.37
		02	DISCOUNT	1100004819			-0.87
						INVOICE TOTAL:	16.50
554719	03/14/14	01	TOW STARTER KIT-TK 54	1132105250		03/25/14	19.99
		02	DISCOUNT	1100004819			-1.00
						INVOICE TOTAL:	18.99
554936	03/17/14	01	COMPRESSION NUT, SLEEVE	1122005350		03/25/14	1.00
		02	DISCOUNT	1100004819			-0.05
						INVOICE TOTAL:	0.95
555015	03/17/14	01	NUTS, BOLTS	4055205350		03/25/14	1.60
		02	DISCOUNT	1100004819			-0.08
						INVOICE TOTAL:	1.52
555065	03/18/14	01	RETURN SWITCH	9900005350		03/25/14	-11.50
		02	LOBBY LIGHT BULBS	9900005350			8.99
						INVOICE TOTAL:	-2.51
555111	03/18/14	01	LIGHT BULBS-ELEVATOR	4055205350		03/25/14	9.49
		02	DISCOUNT	1100004819			-0.47
						INVOICE TOTAL:	9.02
555244	03/19/14	01	SCREWS-SHELVING	9900005350		03/25/14	2.79
		02	DISCOUNT	9900004819			-0.28
						INVOICE TOTAL:	2.51

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-----							
DUNN	DUNN LUMBER & TRUE VALUE						
555279	03/19/14	01	PAINT-LOWER RIV	4055205240		03/25/14	10.48
		02	DISCOUNT	1100004819			-0.12
						INVOICE TOTAL:	10.36
						VENDOR TOTAL:	347.38
ECKLR	RICHARD LEE ECKLUND						
REIMB-2/14	03/04/14	01	ACADEMY MILEAGE-FEB	1121005330		03/25/14	263.64
		02	ACADEMY MEALS-FEB	1121005331			100.47
						INVOICE TOTAL:	364.11
						VENDOR TOTAL:	364.11
FERRE	FERRELLGAS						
RNT5379892	02/21/14	01	ANNUAL TANK RENTAL	4800005340		03/25/14	36.00
						INVOICE TOTAL:	36.00
						VENDOR TOTAL:	36.00
GAGE	GAGE MARINE CORP						
983109	02/06/14	01	LAGOON FINGER PIER FIX	4055305264		03/25/14	3,808.68
						INVOICE TOTAL:	3,808.68
						VENDOR TOTAL:	3,808.68
HEIN	HEIN ELECTRIC SUPPLY CO						
10136-00	03/04/14	01	HAMMER DRILL-SHOP	1132105340		03/25/14	180.00
						INVOICE TOTAL:	180.00
						VENDOR TOTAL:	180.00
HESTA	HE STARK AGENCY INC						
6089PARK-2/14	02/28/14	01	FEB COLLECTION FEES	4234505216		03/25/14	3,868.34
						INVOICE TOTAL:	3,868.34
						VENDOR TOTAL:	3,868.34

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HOME HOME DEPOT CREDIT SERVICES							
3956-2/14	02/19/14	01	KEROSENE	4800005341		03/25/14	43.97
						INVOICE TOTAL:	43.97
						VENDOR TOTAL:	43.97
ITU ITU ABSORB TECH INC							
5819844	03/14/14	01	MATS	1116105360		03/25/14	83.95
						INVOICE TOTAL:	83.95
						VENDOR TOTAL:	83.95
LGREG LAKE GENEVA REGIONAL NEWS							
1041046	03/06/14	01	LN 2/10 COUNCIL MINUTES	1110005314		03/25/14	141.67
						INVOICE TOTAL:	141.67
						VENDOR TOTAL:	141.67
LLS LAKESHORES LIBRARY SYSTEM							
1480	02/19/14	01	2014 SIRSI,OCLC,LLS	9900005510		03/25/14	17,043.72
						INVOICE TOTAL:	17,043.72
						VENDOR TOTAL:	17,043.72
MEDICO MEDICOR PROELIATOR LLC							
1091	12/30/13	01	TRAINING-TACTICAL	1122005510		03/25/14	500.00
						INVOICE TOTAL:	500.00
						VENDOR TOTAL:	500.00
MEDTE MEDTECH WRISTBANDS INC							
IN000425813	03/06/14	01	BEACH WRISTBANDS	4054105310	00000085	03/25/14	4,024.96
						INVOICE TOTAL:	4,024.96
						VENDOR TOTAL:	4,024.96
MONRO MONROE TRUCK EQUIPMENT							

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-----							
MONRO	MONROE TRUCK EQUIPMENT						
714141	02/25/14	01	SEALS-TK 22 SAND SPREADER	1132125250		03/25/14	18.87
						INVOICE TOTAL:	18.87
						VENDOR TOTAL:	18.87
NAPAE	ELKHORN NAPA AUTO PARTS						
934205	03/05/14	01	AIR/OIL/COOLANT FILTERS	1132105351		03/25/14	116.14
						INVOICE TOTAL:	116.14
934665	03/10/14	01	BOOSTER JUMP PAK	1132105340		03/25/14	161.50
						INVOICE TOTAL:	161.50
						VENDOR TOTAL:	277.64
OTIS	OTIS ELEVATOR COMPANY						
CMM27814001	03/07/14	01	ELEVATOR FIX	1116105240		03/25/14	765.78
						INVOICE TOTAL:	765.78
						VENDOR TOTAL:	765.78
PHILI	PHILIPS MEDICAL CAPITAL						
40521383	03/08/14	01	MONITOR/DEFIBS-MAR	1122005830		03/25/14	700.16
						INVOICE TOTAL:	700.16
						VENDOR TOTAL:	700.16
PIGGLY	PIGGLY WIGGLY						
RESTITUTION	03/18/14	01	RESTITUTION-GREG BOCHNIAK	1112004510		03/25/14	200.00
						INVOICE TOTAL:	200.00
						VENDOR TOTAL:	200.00
PNC	PNC BANK						
0032-3/14	03/09/14	01	VIMEO-ANNUAL VIDEO STREAMING	1115105450		03/25/14	199.00

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-----							
PNC	PNC BANK						
0032-3/14	03/09/14	02	TUSCAN TAVERN-MEALS	1114205331		03/25/14	31.51
		03	GODADDY.COM-DOMAIN RENEWAL	1115105450			24.02
		04	CONSTANTCONTACT.COM-EMAIL	1115105450			20.00
		05	OFFICEMAX-INK	4234505310			24.99
						INVOICE TOTAL:	299.52
0437-3/14	03/09/14	01	HOME DEPOT-BATTERIES	1116105350		03/25/14	67.36
		02	HOME DEPOT-CAULK	1116105350			11.47
		03	HOME DEPOT-LOCKSET-RESTROOM	1116105240			29.92
						INVOICE TOTAL:	108.75
1831-3/14	03/09/14	01	USPS-RTN PAGER BATTERIES	1122005312		03/25/14	6.99
		02	USPS-FLANNERY FIRE	1122005312			3.29
		03	TRACTOR SUPPLY-OIL DRY	1122005340			77.87
		04	USPS-RTN SMOKE DETECTORS	1122005312			42.22
		05	USPS-RELIANT FIRE	1122005312			9.80
						INVOICE TOTAL:	140.17
						VENDOR TOTAL:	548.44
R&R	R&R INSURANCE SERVICES INC						
1307651	01/28/14	01	W/C INS AUDIT ADJMT	1110105516		03/25/14	-3,766.00
		02	W/C AUDIT ADJ-RECD CK	1110105516			3,767.00
						INVOICE TOTAL:	1.00
1327912	03/03/14	01	W/C INS	1110105516		03/25/14	70,211.00
						INVOICE TOTAL:	70,211.00
1327913	03/03/14	01	LIAB INS 4/1-10/1/14	1110105512		03/25/14	54,843.00
						INVOICE TOTAL:	54,843.00
						VENDOR TOTAL:	125,055.00
ROTE	ROTE OIL COMPANY						
302482	03/11/14	01	754.3 GAL CLEAR DIESEL	1132105341		03/25/14	2,727.55
						INVOICE TOTAL:	2,727.55
						VENDOR TOTAL:	2,727.55

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SUN	SUN LIFE FINANCIAL						
RE031714	03/20/14	01	CEM DISABILITY-APR	4800005137		03/25/14	26.84
		03	LIB DISABILITY-APR	9900005137			70.76
		04	PD DISABILITY-APR	1110205134			456.22
		05	STREET DISABILITY-APR	1110205134			171.60
		06	WATER DISABILITY-APR	1100001634			121.06
		07	WWTF DISABILITY-APR	1100001634			51.39
		08	C HALL DISABILITY-APR	1110205134			138.67
						INVOICE TOTAL:	1,036.54
						VENDOR TOTAL:	1,036.54
T0000824	RAYMOND WRIGHT						
REFUND	03/12/14	01	OVERPAID-TIX 32440,32363	1112004513		03/25/14	10.00
						INVOICE TOTAL:	10.00
						VENDOR TOTAL:	10.00
T0000825	I LOVE FUNKYS						
REFUND	03/11/14	01	RESTITUTION CASE 13-12087	1112004510		03/25/14	300.00
						INVOICE TOTAL:	300.00
						VENDOR TOTAL:	300.00
T0000826	PRAIRIE STATE ENTERPRISES						
RESTITUTION	03/13/14	01	RESTITUTION-CASE 13-16390	1112004510		03/25/14	115.80
						INVOICE TOTAL:	115.80
						VENDOR TOTAL:	115.80
T0000827	GREGORY BOCHNIAK						
REFUND	03/18/14	01	REF EXCESS BOND TIC 55020530	1112004510		03/25/14	102.40
						INVOICE TOTAL:	102.40
						VENDOR TOTAL:	102.40
TARTA	TARTAN SUPPLY CO INC						

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TARTA TARTAN SUPPLY CO INC							
306796	02/28/14	01	AIR FRESHENER,VAC BACS	1116105350		03/25/14	185.83
						INVOICE TOTAL:	185.83
307024	02/28/14	01	MOP HEADS	1116105350		03/25/14	120.45
						INVOICE TOTAL:	120.45
						VENDOR TOTAL:	306.28
TBURL TOWN OF BURLINGTON							
WARRANT-3/14	03/11/14	01	WARRANT-BRITTIAN CRUMBLISS	1112002428		03/25/14	237.20
						INVOICE TOTAL:	237.20
						VENDOR TOTAL:	237.20
UNIONC UNION GROVE CLERK OF COURTS							
WARRANT-3/14	03/18/14	01	WARRANT-BAILEY 14-884	1112002428		03/25/14	123.80
						INVOICE TOTAL:	123.80
						VENDOR TOTAL:	123.80
USCELL US CELLULAR							
29339133	03/07/14	01	CELL PLAN-MAR	1132105221		03/25/14	26.68
		02	CELL PLAN-MAR	1100002159			196.43
						INVOICE TOTAL:	223.11
RE031714	03/12/14	01	HARBORMASTER CELL-MAR	4055105221		03/25/14	16.03
		02	MAYOR'S CELL-MAR	1116105221			12.38
		03	BLDG INSP CELL-MAR	1124005262			19.63
		05	CITY ADMIN CELL-MAR	1116105221			53.60
		07	BEACH CELL-MAR	4054105221			4.51
		08	PARKING MTR 1 CELL-MAR	4234505221			6.08
		09	PARKING MTR 2 CELL-MAR	4234505221			5.17
		10	CITY HALL CELL-MAR	1116105221			7.96
		12	PARKING SUPERVISOR-MAR	4234505221			16.39

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INVOICES DUE ON/BEFORE 03/25/2014

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
USCELL US CELLULAR							
RE031714	03/12/14	13	CEMETERY CELL-MAR	4800005221		03/25/14	9.54
						INVOICE TOTAL:	151.29
						VENDOR TOTAL:	374.40
VERIZON VERIZON WIRELESS							
9720718735	02/23/14	01	CELL CHGS-FEB	1122005221		03/25/14	170.59
						INVOICE TOTAL:	170.59
9721044257	03/01/14	01	AIR CARDS-FEB	1129005221		03/25/14	40.01
						INVOICE TOTAL:	40.01
9721044855	03/01/14	01	PHONE,CELL CHGS-FEB	1121005221		03/25/14	769.01
						INVOICE TOTAL:	769.01
9721197382	03/03/14	01	AIR CARDS-FEB	1121005221		03/25/14	361.05
						INVOICE TOTAL:	361.05
						VENDOR TOTAL:	1,340.66
VILLDA VILLAGE OF DARIEN							
WARRANT	03/12/14	01	WARRANT-TONI GRANDT 2013-47	1112002428		03/25/14	175.00
						INVOICE TOTAL:	175.00
						VENDOR TOTAL:	175.00
VON VON BRIESEN & ROPER SC							
9172	03/12/14	01	UNION CONTRACT CONSULT	1113105214		03/25/14	43.00
						INVOICE TOTAL:	43.00
						VENDOR TOTAL:	43.00
WALCC WALWORTH COUNTY CLERK OF COURT							
WARRANT-3/14	03/17/14	01	WARRANT-NICANOR-PEREZ 1103764D	1112002428		03/25/14	100.00
						INVOICE TOTAL:	100.00
						VENDOR TOTAL:	100.00

DATE: 03/21/14  
TIME: 15:16:14  
ID: AP441000.WOW

CITY OF LAKE GENEVA  
DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 03/25/2014

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
WALCOS	WALWORTH COUNTY SHERIFF						
2/14	03/05/14	01	FEB PRISONER CONFINEMENT	1112005290		03/25/14	45.00
						INVOICE TOTAL:	45.00
						VENDOR TOTAL:	45.00
WALMA	WALMART COMMUNITY						
6085-2/14	03/16/14	01	MOTOR OIL	4800005340		03/25/14	51.16
		02	OIL,HEAT GUN, GLUE	4800005340			45.48
						INVOICE TOTAL:	96.64
						VENDOR TOTAL:	96.64
WEENE	WE ENERGIES						
CEM 2/14	03/05/14	01	INV 1885-876-489 FEB SVC	4800005224		03/25/14	195.11
						INVOICE TOTAL:	195.11
LIB 2/14	03/12/14	01	INV 3843-358-997	9900005222		03/25/14	105.00
		02	INV 5604-510-433	9900005222			240.00
						INVOICE TOTAL:	345.00
						VENDOR TOTAL:	540.11
WELDE	WELDERS SUPPLY CO						
262466	02/25/14	01	WELDING SUPPLIES	1132105340		03/25/14	73.98
						INVOICE TOTAL:	73.98
						VENDOR TOTAL:	73.98
WEST	WEST BEND MUTUAL INSURANCE CO.						
NOT2142849	02/19/14	01	NOTARY BOND	1121005399		03/25/14	20.00
						INVOICE TOTAL:	20.00
						VENDOR TOTAL:	20.00
YARDD	YARD DOGGS LLC						

DATE: 03/21/14  
TIME: 15:16:14  
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CITY OF LAKE GENEVA  
DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 03/25/2014

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
YARDD	YARD DOGGS LLC						
1101-2/14	02/03/14	01	SHOVEL/SALT-2/3	1132125344		03/25/14	700.00
						INVOICE TOTAL:	700.00
1101-2/14A	02/05/14	01	SHOVEL/SALT-2/5	1132125344		03/25/14	340.00
						INVOICE TOTAL:	340.00
1101-2/14B	02/06/14	01	SHOVEL/SALT-2/6	1132125344		03/25/14	715.00
						INVOICE TOTAL:	715.00
1101-2/14C	02/10/14	01	SHOVE/SALT-2/10	1132125344		03/25/14	180.00
						INVOICE TOTAL:	180.00
1101-2/14D	02/13/14	01	SHOVEL/SALT-2/13	1132125344		03/25/14	40.00
						INVOICE TOTAL:	40.00
1101-2/14E	02/19/14	01	SHOVEL/SALT-2/19	1132125344		03/25/14	25.00
						INVOICE TOTAL:	25.00
1101-3/14	03/03/14	01	SHOVEL/SALT-3/3	1132125344		03/25/14	620.00
						INVOICE TOTAL:	620.00
						VENDOR TOTAL:	2,620.00
						TOTAL ALL INVOICES:	196,502.60

**City of Lake Geneva  
Treasurer's Report as of FEBRUARY 28, 2014**

WALWORTH STATE BANK	Type	Cash Activity			Cash Balances	
		Expenditures	Receipts	Transfers	Jan-14	Feb-14
City Expenses & Collections	General Checking	1,276,740.87	324,159.96	1,900,000.00		
City Net Payroll	General Checking	448,802.73				
City Health Claims	General Checking	347,819.35				
<b>General Checking</b>	<b>TOTALS</b>	<b>2,073,362.95</b>	<b>324,159.96</b>	<b>1,900,000.00</b>	<b>548,504.68</b>	<b>699,301.69</b>

Other Banks	Type	Cash Activity			Cash Balances	
		Expenditures	Receipts	Transfers	Jan-14	Feb-14
BMO Harris Bank	TID #4 Certificates of Deposit				604,755.81	604,755.81
Community Bank of Delavan	TID #4 Certificate of Deposit		273.04		309,506.64	309,779.68
Community Bank of Delavan	TID #4 CDARS				1,200,000.00	1,200,000.00
Community Bank of Delavan	TID #4 Money Market		0.08		5,297.26	5,297.34
US Bank	Tax Receipts	7,313,912.18	793,899.46	5,519,841.98	1,118,030.38	117,859.64
Talmer Bank	TID #4 Money Market		0.01		148.54	148.55
Talmer Bank	TID #4 Certificates of Deposit				371,925.37	371,925.37
PNC Bank	Police Seizure Account	930.00			4,816.59	3,886.59
<b>Other Banks</b>	<b>TOTALS</b>	<b>7,314,842.18</b>	<b>794,172.59</b>	<b>5,519,841.98</b>	<b>3,614,480.59</b>	<b>2,613,652.98</b>

Local Gov't Investment Pool	Type	Cash Activity			Cash Balances	
		Expenditures	Receipts	Transfers	Jan-14	Feb-14
LGIP Acct #1	General		2,269,621.84	(1,900,000.00)	5,824,897.64	6,194,519.48
LGIP Acct #4	Treasurer	2,949,868.16	389.52	(5,519,841.98)	8,469,710.14	389.52
LGIP Acct #5	Impact Fees-Park		3.70		61,472.72	61,476.42
LGIP Acct #6	Impact Fees-Fire		4.09		68,036.87	68,040.96
LGIP Acct #7	TID #4		680,892.21		4,473,260.49	5,154,152.70
LGIP Acct #8	Capital Projects		7.22		120,100.48	120,107.70
LGIP Acct #9	Public Library		5.58		92,870.18	92,875.76
LGIP Acct #10	Impact Fees-Library		9.43		156,763.05	156,772.48
LGIP Acct #11	Capital Projects					
<b>Local Gov't Investment Pool</b>	<b>TOTALS</b>	<b>2,949,868.16</b>	<b>2,950,933.59</b>	<b>(7,419,841.98)</b>	<b>19,267,111.57</b>	<b>11,848,335.02</b>

<b>GRAND TOTAL ALL BANKS</b>		<b>12,338,073.29</b>	<b>4,069,266.14</b>	<b>-</b>	<b>23,430,096.84</b>	<b>15,161,289.69</b>
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Attest: 