

**CITY OF LAKE GENEVA
626 GENEVA STREET
LAKE GENEVA, WI**

**PLAN COMMISSION MEETING
MONDAY JUNE 15, 2020 - 6:00 PM
COUNCIL CHAMBERS, CITY HALL**

THE CITY OF LAKE GENEVA IS HOLDING ALL MEETINGS VIRTUALLY TO HELP PROTECT OUR COMMUNITY FROM THE CORONAVIRUS (COVID-19) PANDEMIC. YOU CAN CALL-IN OR WATCH THE MEETING IN SEVERAL WAYS:

1. Livestream at the City of Lake Geneva Vimeo Channel found here www.vimeo.com/lakegeneva
2. Television: Watch live broadcast of the meeting on Spectrum Cable Channel 25
3. Listen to audio via phone: (602) 333-2017 (Long distance rates may apply) (888) 204-5987 (Toll Free)
Access Code: 9746153
4. You can provide public comment on agenda items by emailing your comments to the City Clerk at cityclerk@cityoflakegeneva.com or you may deliver your written comments to the City of Lake Geneva City Hall, 626 Geneva Street, Lake Geneva, WI 53147. All written comments must be provided to the City Clerk by 5:00 P.M. on the date of the meeting. All written comments will be read aloud during the agenda item when public comments are allowed during the meeting.
5. REGISTER BUT DO NOT SPEAK: You can register your support or opposition to an agenda item without speaking by emailing the Building and Zoning Clerk at bzclerk@cityoflakegeneva.com by 5:00 PM on the date of the meeting. Support or opposition to an agenda item will be read during the public hearing.
6. REGISTER AND SPEAK: If you wish to speak at the virtual meeting on an agenda item, you must register by sending an email to bzclerk@cityoflakegeneva.com and providing the agenda item you wish to speak on, your name, and telephone number where you can be reached during the meeting. You will be contacted by phone to provide your comments when the public hearing on the agenda item you wish to speak on is heard.

If you are disabled and need assistance, please call (262) 248-3673 before this meeting to make arrangements for reasonable accommodation.

CITY HALL WILL NOT BE OPEN TO THE PUBLIC DURING THE MEETING. YOU CAN OBSERVE OR LISTEN TO THE MEETING VIA THE ABOVE LISTED COMMUNICATIONS.

Agenda

1. Meeting called to order by Charlene Klein.
2. Roll Call.
3. Approve Minutes of the May 18, 2020 Plan Commission meeting as distributed.

4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.
5. Acknowledgment of Correspondence.
6. Downtown Design Review:
 - a. Application by Daniel Schuld 281 Keyes Ave, Hampshire IL 60140, request to install signs on the front of the building and on the fence enclosing the exterior patio located at 727 Geneva St, in the Central Business (CB) zoning district, Tax Key No. ZOP00157.
7. Public Hearing and Recommendation of a Conditional Use Permit filed by Pete & Holly Krug, 417 S. Columbia St. Naperville IL 60540, for a request to utilize the Single Family – 4 (SR-4) setbacks for a raze of the existing dwelling and New Single Family Home construction in the Estate Residential -1 (ER-1) zoning district located at 870 Maytag Rd, Tax Key No. ZCE00011.
8. Public Hearing and Recommendation of a Conditional Use Permit filed by Brian Nelson 21605 N. Tiffany Ct. Kildeer IL 60047, for a request to utilize the Single Family – 4 (SR-4) setbacks for an addition to the existing Single Family Home construction in the Estate Residential -1 (ER-1) zoning district located at 1640 Lake Shore Dr., Tax Key No. ZLM00039.
9. Public Hearing and Recommendation of a Conditional Use Permit filed by Leigh Ann Myers 420 S. Lake Shore Dr. d.b.a. The Candle Mercantile, LLC. 870 W. Main St., Lake Geneva, for a request to allow Outdoor Commercial Entertainment land use located at 870 W. Main St. in the Central Business (CB) zoning district, Tax Key No. ZOP00337.
10. Public Hearing and Recommendation of a Conditional Use Permit filed by John Sherman Lindsey W3741 Fir Ct. Lake Geneva, WI 53147, for a request to allow Outdoor Display land use located at 529 W. Main St located in the Central Business (CB) zoning district, Tax Key No. ZOP00301.
11. Adjournment.

QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT

Requests from persons with disabilities, who need assistance in order to participate in this meeting, should be made to the City Clerk's office, in order for appropriate Accommodations.

Posted 6/10/2020

**PLAN COMMISSION MEETING
MONDAY, MAY 18, 2020 – 6:00 PM
COUNCIL CHAMBERS, CITY HALL – VIRTUAL MEETING VIA ZOOM**

Mayor Klein called the meeting to order 6:00 p.m.

Building & Zoning Administrative Assistant Follensbee read the protocol for the City of Lake Geneva Plan Commission Virtual Meetings due to the Covid-19 pandemic.

Roll Call. Present: Mayor Klein, Alderman Tim Dunn, John Gibbs, William Catlin, Joseph Zimmer, Michael Krajovic. Also Present: City Attorney Draper, Building and Zoning Administrator Walling, City Administrator Nord, Building & Zoning Administrative Assistant Follensbee.

Ann Esarco has resigned from the Park Board and therefore will no longer be on the Plan Commission.

Approve Minutes of the April 20, 2020 Plan Commission Meetings as distributed.
Dunn/Krajovic motion to approve. Motion carried unanimously.

Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes.

Acknowledgement of Correspondence.

Correspondence was received by Paul Lederer, Steve & Deborah Holter, and William & Joan Baffes regarding agenda item #7 which will be read at the time of the Public Hearing for 1640 Lake Shore Drive.

Downtown Design Review:

Review and Recommendation of a Certified Survey Map (CSM) for Salvatore J. Dimiceli Sr. Trust, 101 Broad St. to create a new 60,076 Single Lot CSM in the Town of Geneva as identified on the certified survey generated by surveyor Mark Miritz and dated Feb 20, 2020 and revised April 15, 2020 Project #18.1108, Tax Key No. JA361000001.

Zoning Administrator Walling stated the applicant has received approval from the Town of Geneva and all signature pages are in accordance with the City of Lake Geneva.

Krajovic/ Gibbs motion to recommend the creation of 1 buildable lot located in the Town of Geneva and include all staff recommendations.

Roll Call: Klein, Dunn, Gibbs, Catlin, Zimmer, Krajovic “yes.” Motion carried unanimously.

Public Hearing and Recommendation of a Conditional Use Permit filed by Brian Nelson, 21605 N. Tiffany Ct. Kildeer, IL 60047, for the request to allow the new installation of a 100’ Pier with 3 boat slips located at 1640 Lake Shore Dr., situated within the Estate Residential – 1 (ER-1) zoning district, Tax Key No. ZLM00039.

Jeff Reed, representing the application, presented the request. Walling verified the applicant has DNR approval.

Speaker #1: Correspondence was received from Paul Lederer, 1632 N Lake Shore Drive, opposing the pier application at 1640 Lake Shore Drive.

Speaker #2: Correspondence was received from Steve & Deborah Holter, 1626 N Lake Shore Drive, opposing the pier application at 1640 Lake Shore Drive.

Speaker #3: Correspondence was received from William & Joan Baffes, 1624 N Lake Shore Drive, opposing the pier application at 1640 Lake Shore Drive.

The three letters were read during the Public Hearing.

Walling said the application meets the riparian setbacks of 12.5 feet on each side and DNR requirements. Attorney Draper asked if the applicant received approval from the Corp of Engineers. Mr. Reed will send this information to Attorney Draper.

Gibbs/ Krajovic motion to close the Public Hearing. Motion carried unanimously.

Alderman Dunn asked for the responsibilities of the Plan Commission regarding a pier application since the DNR oversees the lake. Draper stated the Plan Commission is responsible for checking that the pier is located within the riparian rights and determine if there is substantial evidence to deny a Conditional Use Permit. The DNR has an application process to determine navigability. Dunn asked if there is an existing pier and Walling said there is an existing pier.

Gibbs/Dunn motion to allow the new installation of a 100' pier with 3 boat slips and include all staff recommendations and fact finding in the affirmative and approval from the Corp of Engineers.

Roll Call: Klein, Dunn, Gibbs, Catlin, Zimmer, Krajovic "yes." Motion carried unanimously.

Public Hearing and Recommendation of a Conditional Use Permit filed by Patrick Lynch, 30715 Cedar Dr. Burlington, WI 53115, for the request to allow the new installation of a 90' Pier with boat 2 slips located at 940 Maytag Rd., situated within the Estate Residential – 1 (ER-1) zoning district, Tax Key No. ZCE00005.

Jeff Reed, representing the application, presented the request. Walling asked applicant to provide the approvals from the DNR & Corp of Engineers. Mr. Reed will provide.

Krajovic/Zimmer motion to close the Public Hearing. Motion carried unanimously.

Dunn asked if there was an existing pier & if it would be eliminated or left behind. Reed explained the expansion of the pier and stated the existing pier would be removed.

Krajovic/Gibbs motion to allow the new installation of a 90' pier with 2 boat slips and include all staff recommendations and fact finding in the affirmative and approvals from the DNR & Corp of Engineers.

Roll Call: Klein, Dunn, Gibbs, Catlin, Zimmer, Krajovic "yes." Motion carried unanimously.

Discussion review and action regarding amendment to our short term rental ordinance 98-206(8)(y).

Attorney Draper explained a current lawsuit asking for a declaratory judgement against the City for certain provisions of the City of Lake Geneva Short Term Rental Ordinance. City Staff has met with the plaintiff's council and currently are scheduled for a summary judgement. The City is working out language to make slight changes to the Short Term Rental Ordinance. A discussion followed regarding the proposed changes.

Klein/Dunn motion to approve the recommended language changes to the short term rental ordinance to the City Council and include all staff recommendations.

Roll Call: Klein, Dunn, Gibbs, Catlin, Zimmer, Krajovic "yes." Motion carried unanimously.

Adjournment. Gibbs/Zimmer motion to adjourn at 7:03 p.m. Motion carried unanimously.

/s/ Brenda Follensbee, Building & Zoning Administrative Assistant

THESE ARE NOT OFFICIAL MINUTES UNTIL APPROVED BY THE PLAN COMMISSION

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 15, 2020

Agenda Item: 6

Applicant:

Daniel Schuld
281 Keyes Ave
Hampshire, IL 60140

Request:

727 Geneva St
Downtown Design Review for Exterior
Signage
Tax Key No. ZOP00157

Description:

The applicant is submitting an application for Downtown Design Review on the request to install on building signage located at 727 Geneva St. Tax Key No. ZOP00157.

The City reviews all exterior alteration in the CB zoning district to confirm that they conform to the Downtown Design standards, particularly quantity, size, and color requirements.

Staff Recommendations:

Staff recommends *approval* of the Alteration and installation request as submitted.



City of Lake Geneva
 Building and Zoning
 626 Geneva Street
 Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:

727 Geneva St. ZOR00157

Name & Address of Current Building Owner:

Daniel Schuld / Fontana Holdings, LLC
281 Keyes Ave Hampshire, IL 60140

Telephone Number of Current Building Owner:

847 778-7070

Email Address:

Name & Address of Applicant:

Daniel Schuld
281 Keyes Ave, Hampshire, IL 60140

Telephone Number of Applicant:

847 778-7070

Email Address:

Daneschuld@gmail.com

Proposed Design Change:

Signage

Zoning District: Central Business

Names & Address of Architect, Engineer, and/or Contractor of Project:

Architect - McCormack + Ethen - 400 Broad St. Lake Geneva, WI 53147

Contractor - Fontana Holdings/Daniel Schuld - 281 Keyes Ave, Hampshire, IL 60140

Description of Project:

Building signage

Date:

6/2/20

Signature of Applicant:

727 Geneva Street Signage:

Broad Street (72.5 sq ft total)

- “Topsy Turvy Brewery” Signs – 8’W x 3’H = 24 sq ft
- “Brewery” on tower side vertical - 1’ x 12’ = 12 sq ft
- South Side Retail Signs – 4 @ 4’W x 1.5’H ea (6 sq ft ea) = 24 sq ft
- Canopy Signs – 3 @ 3.5’W x 1’H ea (3.5 sq ft ea) = 10.5 sq ft
- Existing Canopy over Cooking School Door = approx. 2 sq ft

Geneva Street (91 sq ft total)

- “TopsyTurvy Brewery” Signs – 8’W x 3’H = 24 sq ft
- “Brewery” on tower side vertical - 1’ x 12’ = 12 sq ft
- West Side Brewery Sign – 10’W x 2.5’H = 25 sq ft
- West Side Retail Signs – 3 @ 5’W x 2’H ea (10 sq ft ea) = 30 sq ft.

Angled on the corner on the fence (9.62 sq ft total)

- “Topsy Turvy” sign - 42” circle = 9.62 sq ft





REMODELED SOUTH ELEVATION (GENEVA STREET)
SCALE: 1/4" = 1'-0"



REMODELED WEST ELEVATION (BROAD STREET)
SCALE: 1/4" = 1'-0"

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 15, 2020

Agenda Item: 7

Applicant:

Pete & Holly Krug
417 S. Columbia St.
Naperville, IL 60540

Request: Conditional Use Permit

New Single Family Residence
870 Maytag Rd. Estate Residential (ER-1)
Tax Key No. ZCE00011

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) that would allow for the construction of a new single family residence located in the Estate Residential (ER-1) zoning district utilizing the Single-Family Residential – 4 (SR-4) zoning.

Project Details from CUP Submittal

The proposed project submittal meets or exceeds all requirements of the Zoning Ordinance.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
- a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance,

and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

- c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

- e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

Memo to City of Lake Geneva

To: Fred Walling, Zoning Administrator **Date:** May 19, 2020

From: Naomi Rauch, P.E.
262-758-6032

CC: Pete Krug
Brad Dendel – Brad Dendel Builders
Dave Nord – City Administrator
Brenda Follensbee – Building and Zoning Administrative Assistant
Tom Earle – Director of Public Works
Josh Gajewski – Utility Director
Greg Governatori P.E. – Kapur & Associates, Inc.

Subject: SITE PLAN RECOMMENDED APPROVAL – 870 Maytag Road

BACKGROUND AND REQUEST:

A site plan application was submitted by Mr. and Mrs. Krug for the demolition of an existing residential structure and construction of a new structure at 870 Maytag Road (Lot 11 of Ceylon Court Estates).

The following plans were submitted for review:

- Site, Grading, Drainage & Erosion Control Plan Lot 11 of Ceylon Court Estates, One Sheet, prepared by Farris, Hansen & Associates, Inc. dated 09/21/1999 and last revised 05/06/2020.
- Landscape Plan, The Krug Residence 780 Maytag Road, Lake Geneva, WI, one sheet, prepared by The Reeseman Company, dated 3/17/2020 last revised 4/22/2020.
- Impervious Surface Calculations, three sheets, signed and dated 4/22/20.

Comments:

Kapur recommends approval of the site plan application for demolition of an existing residential structure and construction of a new residential structure based on the information reviewed above. This approval is subject to the following conditions:

1. Field coordination with Lake Geneva Utility Commission is required prior to service abandonment and reinstallation.

The plans have been reviewed for conformance with generally accepted engineering practices and City of Lake Geneva policies. Although the material has been reviewed, the applicant is ultimately responsible for the thoroughness and accuracy of the plans and supplemental data and for compliance with state, county, and other local ordinances and procedures.

Please contact me if you have any questions or comments pertaining to this project.



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CC: Pete Krug
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Please contact me if you have any questions or comments pertaining to this project.



APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

870 Maytag Road, Lake Geneva, WI. Parcel number ZCE 00011

SW 1/4 of Section 1, Town 1 North, Range 17 East. City of Lake Geneva, Walworth County, Wisconsin.

Name and Address of Current Owner:

Pete & Holly Krug - 417 S. Columbia St. Naperville, Il. 60540

Telephone No. with area code & Email of Current Owner:

Holly Krug 630-660-6063 Email : Krugs@sbcglobal.net

Name and Address of Applicant:

Brad Drendel - 24W420 Eugenia Dr., Naperville, Il. 60540

Telephone No. with area code & Email of Applicant:

Brad Drendel -630-688-7065 bdrendel@comcast.net

Proposed Conditional Use: Property is currently zoned ER1. We would like to utilize SR4 zoning and setbacks.

Zoning District in which land is located: ER-1 Estate lot

Names and Addresses of architect, professional engineer and contractor of project:

BR Design/Potts Designs & Architecture One Trans Am Plaza Drive suite 120, Oakbrook Terrace, Il 60181 -630-778-7588

Farris, Hansen & Associates, Inc. 7 Ridgeway Ct, Elkhorn, WI 53121 -262-723-2098

Short statement describing activities to take place on site:

Raise current single family residence and build new single family residence.

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

Date


Signature of Applicant

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ ___ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓
Draft Final Packet (1 Copy to Zoning Administrator)

Date: _____ by: _____

↓

___ (a) **A map of the proposed conditional use:**

- ___ Showing all lands for which the conditional use is proposed;
- ___ Showing all other lands within 300 feet of the boundaries of the subject property;
- ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- ___ All lot dimensions of the subject property provided;
- ___ Graphic scale and north arrow provided.

___ (b) **A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**

- _____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed conditional use:
 - _____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. *(See below)*

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

_____ The proposed conditional use is in harmony with other similar properties on the Lake. This is a common
 _____ Conditional use request for this area.

2. How is the proposed conditional use, in its specific location, in harmony with the purposed, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

_____ This conditional use is in harmony with the current Lake Geneva standards. We are not changing current use
 _____ Of property. The property both existing and improved meet current city standards.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

_____ There is no change of use. Just improving the property. No increase in occupants or parking requirements.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

_____ There is no change of use. Just improving the property. No increase in occupants or land use intensities. We are
 _____ Not exceeding the .50 increase in lot coverage.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

No additional stress on public agencies in the area.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

There will be no adverse effects on the public.

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

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Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ by: _____

↓

___ (a) A **written description** of the intended use describing in reasonable detail the:

- ___ Existing zoning district(s) (and proposed zoning district(s) if different);
- ___ Land use plan map designation(s);
- ___ Current land uses present on the subject property;
- ___ Proposed land uses for the subject property (per Section 98-206);
- ___ Projected number of residents, employees, and daily customers;
- ___ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
- ___ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

- _____ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- _____ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- _____ Exterior building and fencing materials (Sections 98-718 and 98-720);
- _____ Possible future expansion and related implications for points above;
- _____ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

_____ (b) **A Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

_____ (c) **A Property Site Plan** drawing which includes:

- _____ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- _____ The date of the original plan and the latest date of revision to the plan;
- _____ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- _____ A reduction of the drawing at 11" x 17";
- _____ A legal description of the subject property;
- _____ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- _____ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- _____ All required building setback lines;
- _____ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- _____ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- _____ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- _____ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- _____ The location of all outdoor storage areas and the design of all screening devices;
- _____ The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;
- _____ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- _____ All engineering requirements for utilities, site designs, etc;
- _____ The location and type of any permanently protected green space areas;
- _____ The location of existing and proposed drainage facilities for storm water;

_____ In the legend, data for the subject property on:

- _____ Lot Area;
- _____ Floor Area;
- _____ Floor Area Ratio (b/a);
- _____ Impervious Surface Area;
- _____ Impervious Surface Ratio (d/a);
- _____ Building Height.

_____ (d) **A Detailed Landscaping Plan of the subject property:**

- _____ Scale same as main plan (> or equal to 1" equals 100')
- _____ Map reduction at 11" x 17"
- _____ Showing the location of all required buffer yard and landscaping areas
- _____ Showing existing and proposed Landscape Point fencing
- _____ Showing berm options for meeting said requirements
- _____ Demonstrating complete compliance with the requirements of Article VI
- _____ Providing individual plant locations and species, fencing types and heights, and berm heights;

_____ (e) **A Grading and Erosion Control Plan:**

- _____ Same scale as the main plan (> or equal to 1" equals 100')
- _____ Map reduction at 11" x 17"
- _____ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

_____ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**

- _____ Showing finished exterior treatment;
- _____ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- _____ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III.FINAL APPLICATION PACKET INFORMATION

_____ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

_____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

_____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

Development Review Committee (DRC) Application

Complete as much detailed information as possible to allow for a comprehensive departmental review prior to a Development Review Committee meeting. This application must be returned to the Building Inspector, with all conceptual plans, designs and other information prior to the scheduling a DRC meeting.

Applicant Information

Property Address 870 Maytag Road
Applicant name Brad Drendel
Applicant email Bdrendel@comcast.net Phone Number 630-688-7065

Architect/Contractor/Designer Name Potts Designs/Brad Drendel Builders, Inc.
Architect/Contractor/Designer Email Pottsdesigns@yahoo.com Phone Number 630-747-6545

Type of Construction: New Addition _____ Remodel _____
Type of Development: Single-family Multi-family _____ Commercial _____ Industrial _____
Type of Business _____

Engineering

Site Plans should include the following: Project title and owner's/developer's name and address noted, architect's and/or engineer's name and address noted, property boundaries and dimensions, abutting property zoning classifications, general description of building materials, façade and roof detail, setback lines indicated, easements for access, if any, 100-year floodplain identification, existing and proposed topography shown at a contour interval of one foot, indicating proposed grade and location of improvements, signage and outdoor lighting, number of parking spaces provided, type, size and location of all structures with all building dimensions shown, location of existing and general location of proposed sanitary sewers, storm sewers, water-mains, and any proposed stormwater management facilities, location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening, location of pedestrian sidewalks and walkways, graphic outline of any development staging that is planned, driveway locations and sizes, handicap accessibility, environmental concerns (odor, smoke, noise, graphic scale and north arrow).

- Storm water management provisions provided? YES NO
 - As-built/certification notification
- Erosion control plan provided? YES NO
- Wetlands, floodplains, environmental corridors, groundwater Identifier. YES NO
- Utility Plans Provided
 - Watermain
 - Sanitary Sewer
 - Storm Water
- Is a Land Division required? YES NO
- Access points and dimensions shown? YES NO
 - WISDOT Right-of-way?
 - County Right-of-way?
- Estimated Traffic impacts _____
 - Traffic Study Required YES NO
 - Traffic Control Plan Required YES NO
 - Will construction affect street parking or intersections? YES NO

- Paving Materials, Typical Sections? YES / NO
- WDNR Notice of Intent required? (Land disturbance more than 1 acre)? YES / NO
- Watermain extension required? YES / NO
- Sanitary sewer extension required? YES / NO
- SEWRPC Service Area Amendment needed? YES / NO
- Is a Chapter 30 Permit (wetland/waterway) required? YES / NO
- Proposed building/expansion dimensions _____
- Will there be signage? YES / NO type (mounted, freestanding) _____
- Exterior lighting plans? YES / NO
- What kind of noise or level of noise will the business have? N/A
- Detailed property Site Plan? YES / NO Date of Plan: _____
- Green Space Calculations (Existing vs. Proposed) YES / NO
- Are landscape plans provided? YES / NO
- Is a Land Division required? YES / NO

Water/Sewer Utilities

If an existing structure please circle the following:

- Will existing sewer & water connections be used? YES / NO
- Will your project require the installation of a grease interceptor? YES / NO

If the development is Commercial or Industrial, please provide the following:

- Water service size requirement _____
- Estimated daily water usage in gallons per day _____
- Estimated maximum water flow in gallons per minute _____
- Number of bathrooms _____
- Brief description of process (if Industrial) _____

If the development is a multi-family dwelling, please provide the following:

- Number of units _____
- Number of bedrooms in each unit _____
- Water service size requirement _____



ONE TRANS AM PLAZA DRIVE SUITE #120
OAKBROOK TERRACE IL 60181
PHONE: 708-508-7281

April 21, 2020

Re: Krug residence
870 Maytag Road

Dear Lake Geneva Building and Zoning Department,
In response to the plan review by Mike Slavney, please see below in red:

1. This is a very complete plan set that will create a beautiful home that is setback farther from the lake, in alignment with the immediate neighboring homes to the east and west. No action needed.
2. The building exterior material are very nice. However, the building elevations do not specify product textures and colors. These are required. Labeled on new elevations provided.
3. The building coverage and landscape surface ratio/impervious surface ratio requirements are all met for the SR-4 District. ISR increases from 41.4% to 49.7%. See new civil drawings.
4. All building setback and pavement setback requirements are met for the SR-4 District. The total sideyard setback has increased from 17.1 feet in total to 21.2 feet in total. The house setback to the east property line is proposed at 6.5 feet vs the 6 feet minimum. The pavement setback to the east property line is proposed at 6.5 feet vs the 5 feet minimum. No comment.
5. The building height, as measured from the lowest exposed wall to the mean height of the Attic Mechanical Closet dormer appears to exceed the maximum permitted building height of 35 feet. My "on-screen" estimate is about 42 feet in this location. Spoke with Mike. He agrees the main roof mean to grade complies with the 35' requirement.
6. The master bath tub area and attic mechanical closet overhangs the lower floor. This is shown of the elevations, but not on any plan view in the submitted plan set. The minimum sideyard setback appears to be met. Please confirm this with the project architect. Clarified with Mike, he was mistaken.
7. The sidewalk on the side of the house complies with the minimum 5 feet paved setback. See Civil.
8. The Landscaping Plan is good but continues the lawn along the full width of the lot all the way to the lakeshore. No prairie or perennial beds are provided in the lakeside 35 feet to reduce stormwater runoff into the lake. See Civil.
9. I have several additional questions for the architect or applicant:
 - a. What purpose does the knee wall serve on the side of the house? Confirmed, raised floor with short carpenter built wall is suitable.
 - b. Why is there a garage door on the west side (back wall) of the garage? If for boat or RV storage purposes, the required pavement setback is 5 feet, and the required trailer/equipment setback is 3 feet per Section 98-706(2)(b)3. Confirmed with Mike, door is for water kayaks and the like.
10. Finally, I have identified four required changes to the submittal:

- a. Specify exterior textures and colors on the elevation drawings, and bring a sample board of all exterior materials to match the revised elevations. See sample board provided by Builder.
- b. Remove the dormer for the attic mechanical closet (which results in a building height of about 42 feet versus the limit of 35 feet) from all plans, and provide revised building elevations that depict a continuation of the main roof plane instead. Mike said he was mistaken in this request.
- c. Revise the Plan Set to depict the or remove the building overhang. We kept the overhang and moved the house over to include it in the required setback. See Civil.
- d. Provide either a prairie planting area and/or a deep-rooted hardy perennial bed between the shore path and the point 35 feet inland from the OHWM, except for the paved pathway to the lake. No shrubs or trees are required that would block views. See Civil.

If you have any questions, please feel free to call us directly.

Sincerely,

Christine Potts 630-747-6545

Brian Gould 708-508-7281

Impervious Surface Calculations

Walworth County permit addendum - worksheet

Tax Parcel Number: ZCE 00011
 Zoning Permit Number: _____

Property Owner(s) PETER VINCENT KRUG & HOLLY THOMSEN KRUG / 471 S COLUMBIA STREET / NAPERVILLE, IL 60540
 Property Address 870 MAYTAG ROAD / LAKE GENEVA, WI 53147

Lot Size (1 acre = 43,560 sq.ft.) 15,135 ft²

The impervious surface area calculations are required per Walworth County Code of Ordinances – Shoreland Zoning – Chapter 74-174. An Impervious Surface Area includes, but is not limited to, all structures (homes, porches, garages, sheds, boathouse, decks, patios, driveways, sidewalks, stairways, retaining walls, firepits, etc.) The County impervious surface standards apply to the construction, reconstruction, expansion, replacement or relocation of ANY impervious surface that is located within 300 feet of the ordinary high water mark of any navigable lake, pond, flowage or waterway on any of the following: (a) A riparian lot or parcel or (b) A non-riparian lot or parcel that is located entirely within 300 feet of the ordinary high-water mark of any navigable waterway.

General impervious surface standard: A lot or parcel is allowed up to 15% impervious surface as calculated above. A property may exceed the impervious surface of 15% but not more than 30% with a county approved permit and mitigation plan and measure implemented by the property owner and secured by deed.

Highly developed shoreline impervious surface standard: A lot or parcel on a DNR approved highly developed shoreline is allowed up to 30% impervious surface as calculated above. A property may exceed the impervious surface of 30% but not more than 40% with a county approved permit and mitigation plan and measure implemented by the property owner and secured by deed.

Highly Developed Shoreline Commercial impervious surface standard: A lot or parcel on a DNR approved highly developed shoreline with a commercial, industrial or business land use is allowed up to 40% impervious surface as calculated above. A property may exceed the impervious surface of 40% but not more than 60% with a county approved permit and mitigation plan and measure implemented by the property owner and secured by deed.

Impervious Surface Calculations			
Walworth County permit addendum - worksheet			
Impervious Surface	Pre-Construction ft ²	Post-Construction ft ²	Notes
a. Dwelling	2,556	4,282	INCLUDES 1ST & 2ND FLOOR BUMP OUTS
b. Garage			
c. Accessory Structure #1 log wall	70	0	TO BE REMOVED
d. Accessory Structure #2 gravel	441	0	TO BE REMOVED
e. Accessory Structure #3 shore path	36	36	MAINTAIN
f. Accessory Structure #4 seawall	459	459	MAINTAIN
g. Accessory Structure #5			
h. Driveway(s) (including paved, gravel or paver areas)	2,032	750 (1,500 TOTAL)	50% PERMEABLE PAVER CREDIT
i. Sidewalk(s) (including paved, gravel, paver areas)	157	120.5 (241 TOTAL)	195 TO SHORE & 46 FRONT PORCH - 50% PERMEABLE PAVER CREDIT
j. Stairway(s)		2.5 (5 TOTAL)	50% PERMEABLE PAVER CREDIT
k. Patio(s)	524	357.8 (715.5 TOTAL)	50% PERMEABLE PAVER CREDIT
l. Deck(s)			
m. Miscellaneous Structures CONCRETE WALK		259.5	WALK ALONG NW SIDE OF RESIDENCE
TOTAL	6,275	6,267.3	
% LOT COVERAGE	41.5%	41.4%	

Attach a site plan (to scale) or a plat of survey, on paper measuring at least 8 ½ x 11"; labeling items a. through l. (as applicable). On the site plan also label and include setback distances from the proposed project to all PROPERTY LINES, ROAD RIGHT OF WAYS, EASEMENTS, SEPTIC SYSTEMS, WELLS, LAKES, RIVERS, WETLANDS, DRAINAGE DITCHES AND FLOODPLAINS that are applicable to the property. (Sec. 74-248)

Signature (owner) Holly Krug Date 4/22/20
 I, the owner, acknowledge responsibility for the accuracy of the information provided. Inaccuracies may result in a violation of the Walworth County Shoreland Zoning Ordinance, Chapter 74.

Treated impervious surfaces; The impervious surface calculation may exclude any existing or proposed impervious surface where the property owner can show the county that runoff from the impervious surface is treated by existing or proposed devices such as storm water ponds, constructed wetlands, infiltration systems, rain gardens, bioswales or other engineered systems, or that the runoff discharges to internally drained pervious area that retains the runoff on or off the parcel to allow infiltration into the soil. If a property owner or subsequent property owner fails to maintain the treatment system, treatment device or internally drained area, the impervious surface is no longer exempt under this ordinance.

- a. For smaller sites, such as those usually associated with shoreland areas, hydrologic modeling is not necessary if the landowner simply infiltrates or treats the first ½ inch of runoff discharging from the existing and planned impervious surfaces. This method shall demonstrate how the infiltration system and/or best management practice(s) will result in the exceedance of the following storm water discharge standards:
 1. Capture 80% of the total suspended solids (i.e. sediment/water quality standard);
 2. Infiltrate 90% of the predevelopment runoff volume (i.e. runoff volume standard).
- b. The County may exclude an impervious surface from the impervious surface calculation provided the property owner can demonstrate that one or more of the following general standards apply, and the existing or proposed infiltration system or best management practice(s) conform to County Conservation Standards or the applicable technical standards:
 1. One half inch of runoff from the area of impervious surface is treated by a storm water BMP, complying with the County Conservation Standards, or
 2. One half inch of runoff from the surface is discharged to an internally drained pervious area that retains the runoff on or off the parcel to allow infiltration into the soil.
- c. A storm water management plan and permit must be approved by the County, pursuant to the Walworth County Storm Water Management Ordinance, Chapter 26, Walworth County Code of Ordinances.

Mitigation Plan. For lots or parcels that exceed the impervious surface standard, but do not exceed the maximum impervious surface standard, the county may issue a complete permit that requires a mitigation plan reviewed and approved by the county zoning division and land conservation division (if applicable) and implemented by the property owner by the date specified in the permit. The application shall include the following:

- a. A site plan that describes the proposed mitigation measures. The site plan shall be designed and implemented to restore natural functions lost through development and human activities.
- b. The mitigation measures shall be proportional in scope to the amount and impacts of the impervious surface being permitted to establish or maintain measures adequate to offset the impacts of the impervious surface on water quality, near-shore habitat, upland wildlife habitat and natural scenic beauty.
- c. The mitigation plan shall include an implementation schedule and enforceable obligations on the property owner to establish and maintain the mitigation measures.
- d. The obligations of the property owner under the mitigation plan shall be evidenced by an instrument recorded in the office of the county register of deeds.

IMPERVIOUS SURFACE MITIGATION AFFIDAVIT – SHORELAND ZONING

Mitigation requirements

Permitted : 0% - 15% impervious surface GENERAL Mitigation- max of 30%

- 2.5% increase impervious surface 1 point
- 5% increase impervious surface 2 points
- 7.5% increase impervious surface 3 points
- 10% increase impervious surface 4 points
- 12.5% increase impervious surface 5 points
- 15% increase impervious surface 6 points

Permitted : 0%- 30% HIGHLY DEVELOPED SHORELINE –

Residential Mitigation - max of 40%

- 2.5% increase impervious surface 1 point
- 5% increase impervious surface 2 points
- 7.5% increase impervious surface 3 points
- 10% increase impervious surface 4 points

Permitted : 0% - 40% HIGHLY DEVELOPED SHORELINE –

Commercial/Business/Ind. Mitigation - max of 60%

- 2.5% increase impervious surface 1 point
- 5% increase impervious surface 2 points
- 7.5% increase impervious surface 3 points
- 10% increase impervious surface 4 points
- 12.5% increase impervious surface 5 points
- 15% increase impervious surface 6 points
- 17.5% increase impervious surface 8 points
- 20% increase impervious surface 10 points

Number of Points required: _____

Mitigation Measures.

- ___ 1 point - for every 5' of permanent native shore yard buffer from 35' to 75'
- ___ 1 point - for every 5' of buffer perpendicular to the shore from 35' to 75'
- ___ 1 point - for every 5' reduced width of view/access corridor
- ___ 1 point - for no shore yard lighting
- ___ 1 point- Planting/restoration of a primary buffer 1 pt for every 7' depth of buffer (max of 5 points)
- ___ 1 point- Increase shore yard setback – 1 point for every 5' of increase
- ___ 1 point - Permanent plantings (native forbs/shrubs) to screen existing retaining walls 1 pt/35'
- ___ 1 point - Removal of retaining wall - for every 100 square foot of face area
- ___ 2 points - DNR approved rip rap or vegetated shore treatment
- ___ 2 points - Code compliant POWTS/ septic (installed after 1980)
- ___ 3 points - Removal of second access to shore
- ___ 3 points - Rain garden
- ___ 3 points - Roof run off collection system
- ___ 4 points - Removal of legally constructed sand beach/pea gravel
- ___ 2 points - No grade change within 75 feet of OHWM
- ___ 4 points - No boathouse
- ___ 5 points - Preserve existing permanent native buffer (OHWM extended 35' landward)
- ___ TBD points - Other method approved by LURM. points based on proposal and impacts

Total Impervious Surface 6267.3²

Total Impervious Surface Percentage calculated on worksheet _____ 41.4 _____ %

I (print property owner name) Holly Krug will implement the Mitigation Measures chosen (as noted above) and record a Deed in the Register of Deeds Office. A method not listed above but approved by LURM is: _____

_____ and is designated as _____ points.

Signature (Owner):

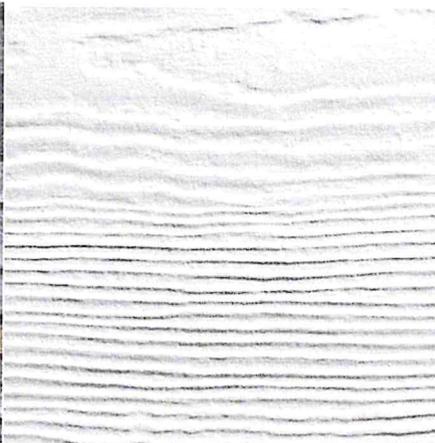
Holly Krug

Date: 4/22/20

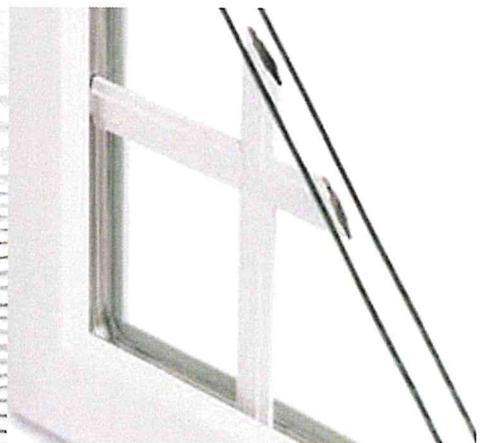
KRUG RESIDENCE
870 MAYTAG RD.
EXTERIOR FINISHES



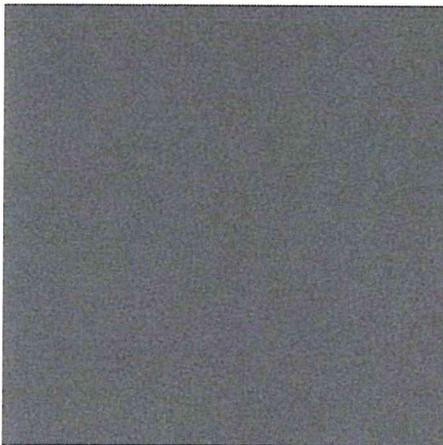
EXTERIOR STONE
BARNWOOD BLUE ASHLAR STONE



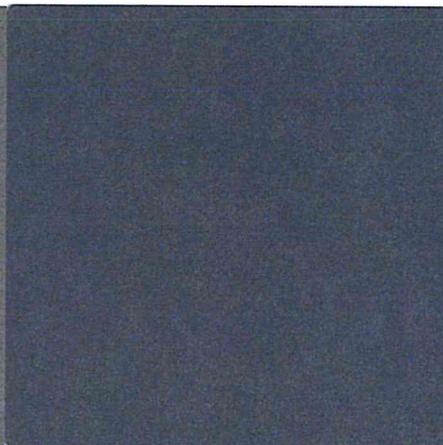
SIDING
JAMESHARDIE - ARTIC WHITE



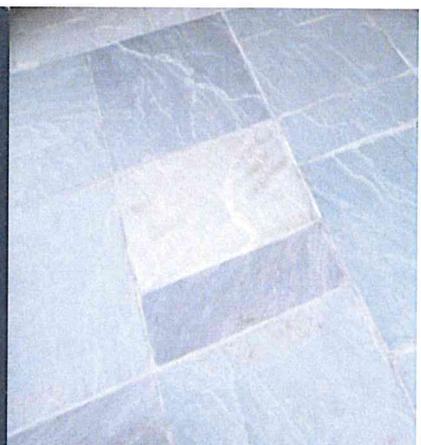
WINDOW TRIM
ULTREX - STONE WHITE



METAL ROOF
PAC-CLAD - ZINC



FRONT DOOR
BENJAMIN MOORE - HC-156



PORCH & VERANDA
BLUESTONE - BLUE ICE



FRONT ENTRY LIGHT
BACK POST LIGHT



OVER GARAGE LIGHTS



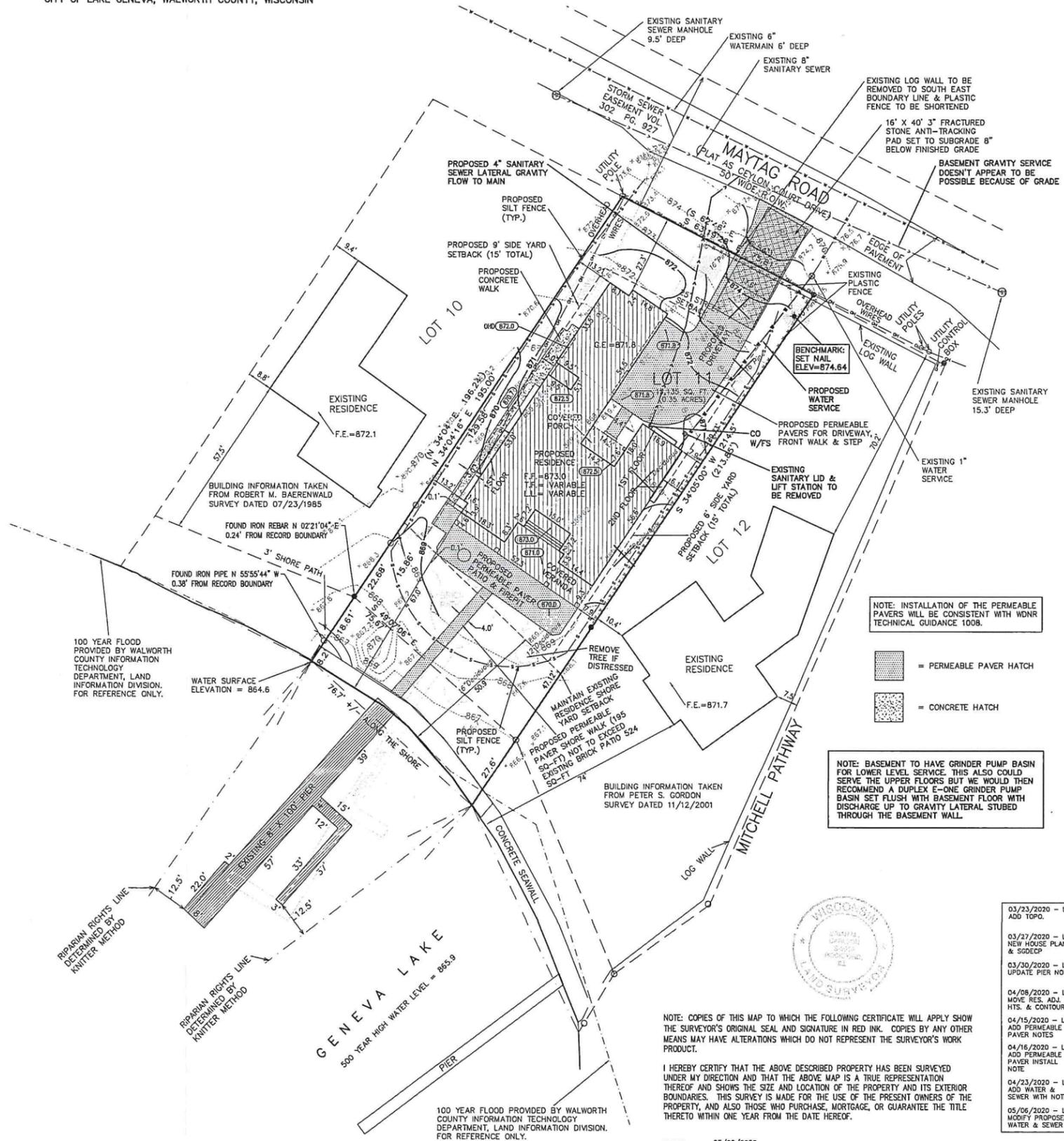
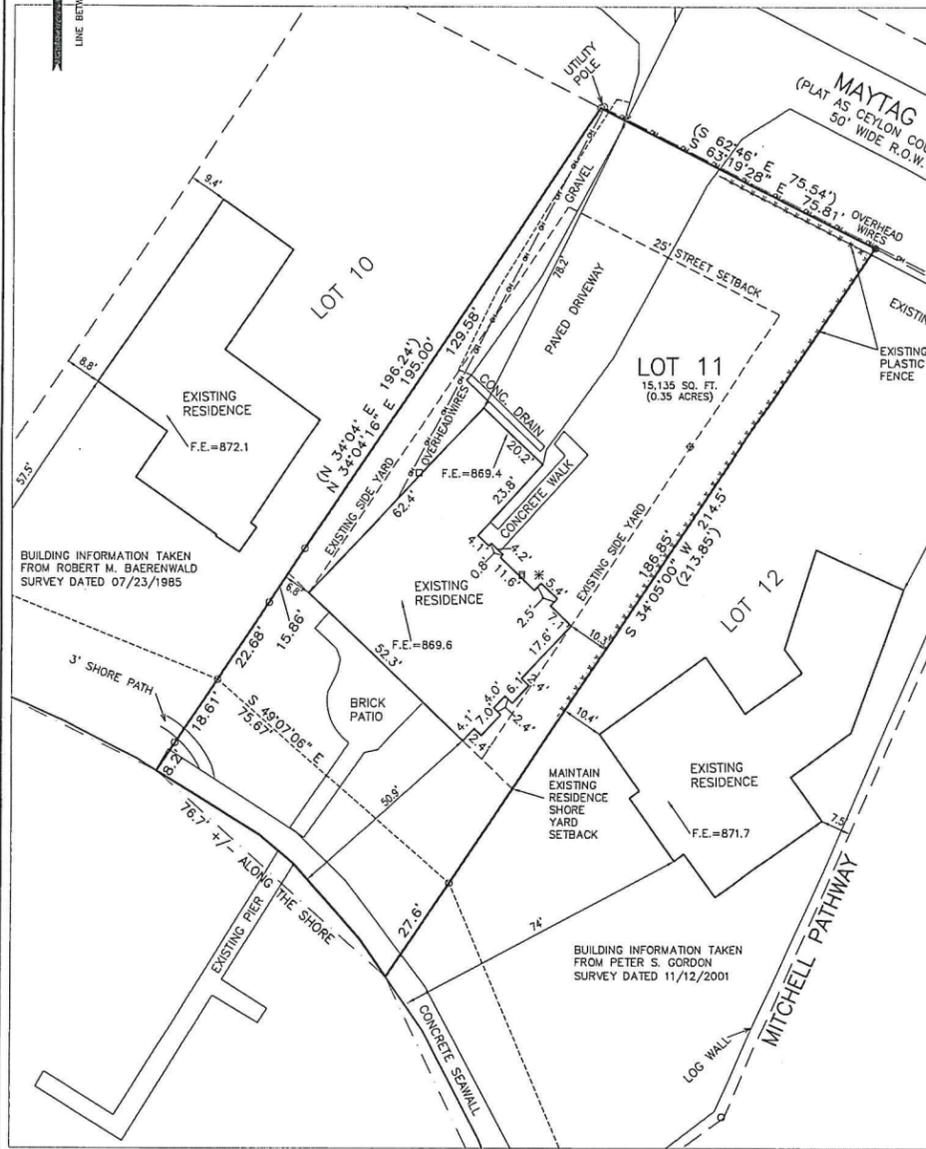
VERANDA FANS

SITE, GRADING, DRAINAGE & EROSION CONTROL PLAN

LOT 11 OF CEYLON COURT ESTATES

LOCATED IN PART OF THE NE 1/4 OF THE SW 1/4
OF SECTION 1, TOWN 1 NORTH, RANGE 17 EAST,
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

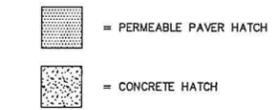
EXISTING RESIDENCE TO BE DEMOLISHED.
EXISTING UTILITIES TO BE RELOCATED.
EXISTING CONCRETE WALK, GRAVEL AREA &
PAVED DRIVEWAY TO BE DEMOLISHED.
EXISTING BRICK PATIO & WALK TO SHORE
TO BE DEMOLISHED.
EXISTING PIER TO BE DEMOLISHED.



- ### LEGEND
- = FOUND IRON PIPE STAKE
 - = FOUND IRON REBAR STAKE
 - ⊕ = GAS METER
 - ⊗ = AIR CONDITIONING UNIT
 - ⊞ = ELECTRIC METER
 - ⊕ = SANITARY LID
 - F.E. = EXISTING FLOOR ELEVATION
 - (XXX) = RECORDED AS
 - = EXISTING GROUND ELEVATION
 - = EXISTING LAND CONTOURS
 - = PROPOSED LAND CONTOURS
 - = PROPOSED SILT FENCE OR STAKED 12" WATTLE
 - = PROPOSED FINISHED GRADE/ELEVATION
 - T.F. = TOP OF FOUNDATION ELEVATION
 - F.F. = FIRST FLOOR ELEVATION
 - G.E. = GARAGE ELEVATION
 - L.L. = LOWER LEVEL ELEVATION (CRAWL SPACE)
 - ✕ = EXISTING TREE TO BE REMOVED

- ### CONSTRUCTION SEQUENCE
- 1) SILT FENCING INSTALLED
 - 2) INSTALL ANTI-TRACKING MAT
 - 3) VEGETATION TO BE CLEARED
 - 4) TOPSOIL STRIPPED
 - 5) FOUNDATIONS DUG & POURED
 - 6) WALLS BACKFILLED
 - 7) FRAMING AND HOME CONSTRUCTION COMPLETED
 - 8) DRIVE & LANDSCAPING COMPLETED
- AREA WITHIN SILT FENCING TO BE CLEARED OF UNDERBRUSH WITH ONLY NECESSARY LARGE TREES REMOVED (MARKED WITH "X").
- ALL SILT FENCING SHALL BE MAINTAINED IN A STABLE CONDITION FULLY BRACED AND STAKED TO PREVENT MOVEMENT BY RUNOFF UNTIL A DENSE TURF IS ESTABLISHED OVER ALL DISTURBED GROUND SURFACES. DURING OR AFTER EVERY STORM THEY SHALL BE CHECKED. ACCUMULATIONS OF SILT TOPSOIL AND ANY OTHER CONSTRUCTION DEBRIS SHALL BE ROUTINELY REMOVED.
- ALL TOPSOIL AND SURPLUS EXCAVATED MATERIALS TO BE LOADED AND HAULED OFF SITE AT TIME OF EXCAVATION
- AREA TO BE RESTORED WITH IMPORTED SCREENED AND SHREDDED TOPSOIL (MINIMUM 6" DEPTH) AFTER FOUNDATION AND FRAMING AS SOON AS POSSIBLE FOLLOWED WITH GRASS SEEDING AND MULCH.

NOTE: INSTALLATION OF THE PERMEABLE PAVERS WILL BE CONSISTENT WITH WDMR TECHNICAL GUIDANCE 100B.



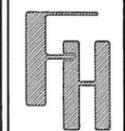
NOTE: BASEMENT TO HAVE GRINDER PUMP BASIN FOR LOWER LEVEL SERVICE. THIS ALSO COULD SERVE THE UPPER FLOORS BUT WE WOULD THEN RECOMMEND A DUPLEX E-ONE GRINDER PUMP BASIN SET FLUSH WITH BASEMENT FLOOR WITH DISCHARGE UP TO GRAVITY LATERAL STUBED THROUGH THE BASEMENT WALL.

NOTE: COPIES OF THIS MAP TO WHICH THE FOLLOWING CERTIFICATE WILL APPLY SHOW THE SURVEYOR'S ORIGINAL SEAL AND SIGNATURE IN RED INK. COPIES BY ANY OTHER MEANS MAY HAVE ALTERATIONS WHICH DO NOT REPRESENT THE SURVEYOR'S WORK PRODUCT.

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY DIRECTION AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY AND ITS EXTERIOR BOUNDARIES. THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE YEAR FROM THE DATE HEREOF.

DATED: 05/06/2020

BRIAN M. CARLSON P.L.S. 2039



SITE PLAN
870 MAYTAG ROAD
LAKE GENEVA, WI 53147

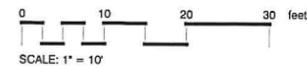
WORK ORDERED BY -
PETE KRUG
471 S. COLUMBIA STREET
NAPERVILLE, IL 60540

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING ARCHITECTURE - SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-2088 FAX: (262) 723-5886

REVISIONS	
03/23/2020 - LB ADD TOPO.	03/21/2019 - LB PERMIT
03/27/2020 - LB NEW HOUSE PLANS & SODECP	04/09/2019 - LB MODIFY PERMIT
03/30/2020 - LB UPDATE PIER NOTE	05/16/2019 - LB ADD FLOOR ELEV.
04/08/2020 - LB MOVE RES. ADJ. HTS. & CONTOURS	10/15/2019 - LB NEW HOUSE PLANS
04/15/2020 - LB ADD PERMEABLE PAVER NOTES	10/25/2019 - LB UPDATE
04/16/2020 - LB ADD PERMEABLE PAVER INSTALL NOTE	03/02/2020 - LB NEW HOUSE PLANS
04/23/2020 - LB ADD WATER & SEWER WITH NOTES	03/16/2020 - LB SODECP PREP.
05/06/2020 - LB MODIFY PROPOSED WATER & SEWER	

PROJECT NO.
5390.19
DATE
09/21/1999
SHEET NO.
1 OF 1

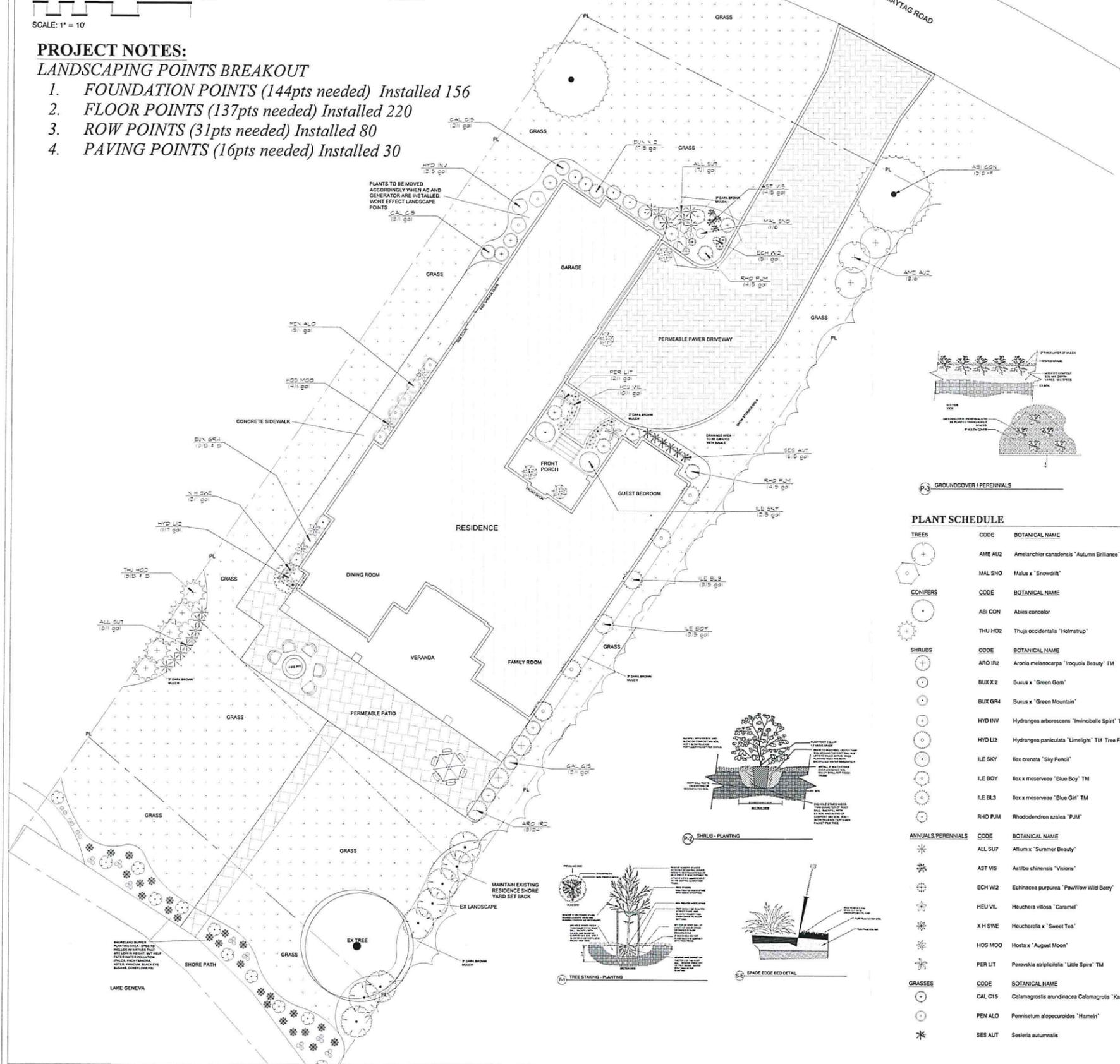
LANDSCAPE PLAN



PROJECT NOTES:

LANDSCAPING POINTS BREAKOUT

1. FOUNDATION POINTS (144pts needed) Installed 156
2. FLOOR POINTS (137pts needed) Installed 220
3. ROW POINTS (31pts needed) Installed 80
4. PAVING POINTS (16pts needed) Installed 30



GENERAL LANDSCAPE NOTES:

1. Always contact Diggers Hotline (800-242-8511) 72 HRS before proceeding with any work. Contractor is responsible for having site marked.
 2. All plantings shall comply with the standards described in American Standard of Nursery Stock ANSI Z60.1- Latest Version and Standardized Plant Names 1942 Edition.
 3. Topsoil return to depth of 6" minimum is by excavating contractor. Berms (if applicable) are by others. Returned topsoil to have no rock larger than 1", construction debris and/or roots in the soil. Contact general contractor if soil is not acceptable for proper plant growth. Landscape contractor is responsible for fine grading.
 4. All plants must be bid and selected per species specified on this plan. Contractor is responsible for furnishing all materials, tools, equipment, and labor necessary for proper planning and installation of all landscape materials.
 5. Labeled plants have precedence over the plant table. Verify quantity with a hand takeoff of the plan. Any substitutions of plant type, quantity or size must be approved by Landscape Architect/Designer AND City Forester. Any discrepancies should be discussed before bidding.
 6. Plant substitutions must be approved by Landscape Architect/Designer, Owner AND City Forester. Any changes to the sizes or selection shown on plan must be submitted in to Landscape Architect/Designer or Owner in writing prior to installation.
 7. Tree planting details: All installation of plants must be installed per details.
 8. Planting beds shall receive a 3" layer of high quality shredded hardwood mulch. 3" diameter tree rings shall be installed around all trees and evergreens in the turf areas. Perennial and annual beds shall receive a 2.5-3" layer of shredded bark mulch. Do not build up any mulch around or onto collar of any tree.
 9. Spade cut landscape plant beds and tree rings with a 3" deep shovel cut- see detail or mechanical edger. Edge must be a clean cut between lawn and mulch bed.
 10. Seeded lawn areas to have Bluegrass blend of seed for sunny areas, shade areas to have a Bluegrass and Fescue blend of seed. See civil plans for turf restoration. Apply a 10-10-10 starter fertilizer after turf has germinated. Follow manufacturers direction on application rates. Where seed is not specified it should be Cedar Creek Blue Tag Seed #25 (or similar) installed at a rate of 3#/1000sq.
- The acceptance of a newly established turf seeded is defined as:
 No bare spots larger than 1 SF
 No more than 10% of the Total Area of the project with bare spots larger than 1 SF
 Coverage should be uniform across the entire seeded areas.
11. Sodded turf (if applicable) to be installed in staggered fashion with tight joints. Sod to be rolled and watered to a depth of 3-4" immediately upon laying of the turf. Stake sod on slopes of less than 3:1 grade.
 12. Lawn Installation: Contractor to furnish and prep soil conditions as needed, removing rock larger than 1". Provide a starter fertilizer, and mulch cover suitable to germinate and establish grass. Erosion mat should be used as plan states or in swales or on steep grades. Civil Plans stating an erosion plan should be followed.
 13. Landscape contractor is responsible to maintain the site for a period of 45 days after substantial completion of project. This will include watering, moving of turf areas as needed, weeding plant beds, maintaining a clean site and other activities to ensure proper growth and the landscape.
 14. If an irrigation system is not installed a temporary irrigation system shall be set up for a period of 30 days to water lawn areas. Install drip irrigation for plant beds. Install timers that will enable the new turf areas to receive enough water to properly germinate seed. Owner to provide access to water from outside of building to facilitate proper watering. (if applicable)
 15. If a permanent irrigation system is required in turf areas install system with head to head coverage. Ensure that all turf is covered and that no voids are left which will create brown or dead grass in dry weather. Planting beds around perimeter of building shall have a drip irrigation system installed on separate manifold. Install wireless rain gauge and timer. Installation of sleeves for irrigation pipe is by irrigation or landscape contractor. Water meter, backflow preventer and electrical (by others) for timer are to be installed by a licensed plumber and electrician.
 16. Contractor is responsible for all estimating and bidding of all areas, and quantities of the project. Warranty of plants, trees, evergreens, shrubs shall be for a period of (16) months from date of substantial completion. Perennials, ornamental grasses, annuals shall be guaranteed for one (16) months. One replacement will be required of each dead plant at the end of the warranty period.

GROUNDCOVER / PERENNIALS

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
	AME AU2	Amelanchier canadensis 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6'		3		
	MAL SNO	Malus x 'Snowdrift'	Snowdrift Crab Apple	6'		1		
CONIFERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
	ABI CON	Abies concolor	White Fir	6'-8'	B&B	2		
	THU HO2	Thuja occidentalis 'Holmstrup'	Holmstrup Cedar	B & B		5		
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
	ARO IR2	Aronia melanocarpa 'Troquois Beauty' TM	Black Chokeberry	24"		3		
	BUX X2	Buxus x 'Green Gem'	Green Gem Boxwood	5 gal		7		
	BUX GR4	Buxus x 'Green Mountain'	Boxwood	B & B 18-24"		3		Balanced Plant Structure
	HYD INV	Hydrangea arborescens 'Invincible Spirit' TM	Invincible Spirit Hydrangea	5 gal		3		
	HYD L2	Hydrangea paniculata 'Limelight' TM Tree Form	Limelight Hydrangea on Standard TreeForm	7 gal. Pot		1		Straight Truck
	ILE SKY	Ilex crenata 'Sky Pencil'	Sky Pencil Japanese Holly	5 gal		2		
	ILE BOY	Ilex x meserveae 'Blue Boy' TM	Blue Boy Holly	5 gal		3		
	ILE BL3	Ilex x meserveae 'Blue Girl' TM	Blue Girl Holly	5 gal		3		
	RHO PJM	Rhododendron azalea 'PJM'	Azalea	5 gal		6		
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
	ALL SU7	Allium x 'Summer Beauty'	Summer Beauty Allium	1 gal		15		
	AST VIS	Astilbe chinensis 'Visions'	Visions Astilbe	5 gal		4		
	ECH W2	Echinacea purpurea 'PowWow Wild Berry'	PowWow Wild Berry Coneflower	1 gal. Pot		5		
	HEU VIL	Heuchera villosa 'Caramel'	Coral Bells	1 gal		10		
	X.H SWE	Heuchera x 'Sweet Tea'	Sweet Tea Coral Bells	1 gal		3		
	HOS MOO	Hosta x 'August Moon'	Plantain Lily	1 gal		4		
	PER LIT	Perovskia atriplicifolia 'Little Spire' TM	Little Spire Russian Sage	1 gal		2		
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
	CAL C15	Calamagrostis arundinacea 'Karl Foerster'	Karl Foerster Grass	1 gal		6		Balanced Root and Plant Structure
	PEN ALO	Penstemon alpestris 'Hamel'	Hamel Dwarf Fountain Grass	1 gal		5		
	SES AUT	Sesleria autumnalis	Autumn Moor Grass	5 gal		6		

General Notes

Dial 811 or (800) 242-8511
www.DiggersHotline.com

Outdoor design build specialists
262-206-7379 • reesmans.com

1 ADDED PERM-SHOREPLANTS 4-22-2020		
No.	Revision/Issue	Date

28815 Bushnell Road
Burlington, WI 53105

Phone 262.342.1425
Fax 262.539.2665
www.reesmans.com

THE KRUG RESIDENCE
780 MAYTAG ROAD
LAKE GENEVA, WI

Project	Sheet
LANDSCAPE	L-100
Date	
3/27/2020	
Scale	

LAKE GENEVA CODE REQUIREMENTS

- WISCONSIN UNIFORM BUILDING CODE WITH AMENDMENTS

UNIFIED SOIL CLASSIFICATION STATEMENT/ DESIGN & BEARING CAPACITY FOR PROJECT

DESIGN PRESENTED TO BE FROM TABLE R405.1 OF IRC 2006 SOIL GROUP II WITH A UNIFIED SOIL CLASSIFICATION SYMBOLOGY CLAY OR BETTER. IF SOIL DOES NOT MEET THIS DESCRIPTION INFORM ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH ANY WORK. CONTRACTOR OR ENGINEER TO FIELD VERIFY AND SUBMIT TO CITY OF WAVERVILLE CONFIRMED FINDINGS.

ALL CONCRETE FOUNDATION WALLS AND CONCRETE FLOORS TO BE A MINIMUM OF 1500 PSI COMPRESSIVE STRENGTH OF SOIL.

DESIGN CRITERIA LIVE LOADS

LIVE LOADS: SHALL BE AS FOLLOWS PER IRC R301.5

EXTERIOR BALCONIES:	60PSF
DECKS:	40PSF
ATTICS WITHOUT STORAGE:	10PSF
ATTICS WITH STORAGE:	20PSF
ROOFS (OTHER THAN SLEEPINGA):	30PSF
SLEEPING ROOFS:	30PSF
STAIRS:	40PSF
GUARDRAILS & HANDRAILS:	200PSF

DESIGN CRITERIA

FLOOR JOIST SCHEDULE

JOIST # SPACING L/260	MAXIMUM SPAN 40'LL - 10'DL
2X8 @ 12" O.C.	13'-6"
2X8 @ 16" O.C.	12'-3"
2X6 @ 12" O.C.	17'-3"
2X6 @ 16" O.C.	15'-10"
DOUBLE EVERY OTHER JOIST 2X6 @ 16" O.C.	16'-5"
2X10 @ 12" O.C.	20'-11"
2X10 @ 16" O.C.	17'-10"
DOUBLE EVERY OTHER JOIST 2X10 @ 16" O.C.	19'-11"

- PROVIDE DOUBLE FJ'S BELOW ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE ON PLANS
- ALL FJ'S SHALL BE 2" DOMESTIC HEM-FIR OR BETTER
- PROVIDE CROSS BRIDGING @ MAX. 8'-0" O.C.

CEILING JOIST SCHEDULE

JOIST SIZE	JOIST SPACING	MAXIMUM SPAN
2X4	#16" O.C.	8'-11"
2X6	#16" O.C.	12'-10"
2X8	#16" O.C.	16'-5"
2X8	#12" O.C.	18'-9"
2X10	#16" O.C.	19'-10"
2X10	#12" O.C.	22'-11"
2X12	#16" O.C.	27'-8"
2X12	#12" O.C.	26'-5"

- ALL JOISTS SHALL BE MINIMUM SIZE & SPACING PER SCHEDULE ABOVE UNLESS NOTED OTHERWISE ON PLANS
- ALL CJS SHALL BE 2" DOMESTIC HEM-FIR OR BETTER

ROOF RAFTER SCHEDULE

JOIST SIZE	JOIST SPACING	MAXIMUM SPAN
2X6	#16" O.C.	11'-3"
2X8	#16" O.C.	14'-3"
2X10	#12" O.C.	16'-5"
2X10	#16" O.C.	17'-5"
2X10	#12" O.C.	20'-11"
2X12	#16" O.C.	26'-2"
2X12	#12" O.C.	23'-5"

- ALL RAFTERS SHALL BE MINIMUM SIZE & SPACING PER SCHEDULE ABOVE UNLESS NOTED OTHERWISE ON PLANS
- ALL RAFTERS SHALL BE 2" DOMESTIC HEM-FIR OR BETTER (E/1200/2000 MINIMUM)

GENERAL NOTES

GENERAL REQUIREMENTS

- ALL SUBCONTRACTORS SHALL VERIFY THE PLANS ARE THE MOST CURRENT SET PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ALL CONSTRUCTION AND MATERIALS USED SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LATEST EDITION AS NOTED ON THE COVER SHEET.
- ALL SUBCONTRACTORS ARE LIABLE FOR THE SAFETY OF THEIR EMPLOYEES AND EQUIPMENT WHILE ON THE JOB SITE.
- DO NOT SCALE DRAWINGS- USE FIGURED DIMENSIONS ONLY. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE.
- ALL DIMENSIONS ARE FOR ROUGH FRAMING. WALLS ARE DIMENSIONED @ 3/4" UNLESS NOTED OTHERWISE.

FOUNDATION NOTES:

- CONCRETE NOTES: ALL FOOTINGS DESIGNED FOR SOIL BEARING OF 3000' PER SQ. FT. FOOTINGS TO BEAR ON SOLID SOIL, REGARDLESS OF GIVEN DIMENSIONS. TOPS OF WALLS SHALL HAVE (2) #4 BARS CONTINUOUS LAP 20". BOTTOMS OF WALLS SHALL HAVE (2) #4 BARS. ALL FOUNDATION CONCRETE SHALL BE 3000' P.S.I. AT 28 DAYS. ALL EXTERIOR CONCRETE SHALL BE AT 4000' P.S.I. AT 28 DAYS. ALL CONCRETE SHALL BE AIR ENTRAINED 3% TO 6% AIR. ALL FILL INSIDE BLDG. SHALL BE GRAVEL OR SAND. ALL FILL SHALL BE MACHINE TAMPED.
- ALL FILL INSIDE BUILDING SHALL BE GRAVEL @ MAXIMUM DENSITY BASED COMPACTED TO 95 ON ASTM 1557.

FRAMING/ DESIGN CRITERIA NOTES:

- SEE COVER SHEET FOR DESIGN CRITERIA OF FLOOR JOISTS, CEILING JOISTS, HEADERS, AND PARTIES.
- FOR ALL LVL PRODUCTS USE TRUS JOIST HXAC MILLAN SIZED PER PRINT W/ FB-2600 AND E-19.
- ALL JOISTS TO HAVE BRIDGING - MAXIMUM INTERVAL TO BE 8'-0" O.C. PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS & TUBAHL POOL AREAS. SUBFLOOR TO BE 3/4" T&G PLYWOOD GLUED AND SCREWED TO FLOOR JOISTS.
- (2) 2X10 HEADER IS TYPICAL FOR ALL DOORS, WINDOWS, AND OPENINGS UNLESS OTHERWISE NOTED.
- GLUE AND NAIL ALL MICROLAM HEADERS.

INSULATION:

- INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR BARRIERS OR BREATHER PAPERS, INSTALLATION FLOOR - CEILING ASSEMBLIES, WALL OR ROOF/WALL ASSEMBLIES, CRACK SPACES AND ATTICS SHALL HAVE A FLAME-SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPMENT INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84.

STEEL NOTES:

- FIELD VERIFY ALL STEEL BEAM DIMENSIONS PRIOR TO FABRICATION. ALL STRUCTURAL STEEL AND STEEL LINTELS SHALL BE FACTORY PRIMED WITH RUST INHIBITING PRIMER. PAINT STEEL LINTELS TO MATCH SURROUNDING MASONRY. STEEL LINTELS AS FOLLOWS UNLESS NOTED OTHERWISE: 3/4" X 3/4" X 5/16" ANGLE TO 5' SPAN 6" X 3/4" X 5/16" ANGLE TO 5' SPAN PROVIDE FLASHING AND WEEPS 24" O.C. AT ALL STEEL LINTELS. STONE SILLS AND CAPS.
- SEE LINTEL SCHEDULE FOR MORE INFORMATION.

ELECTRICAL NOTES:

- ALL WIRING TO BE INSTALLED BASED ON THE CURRENT NATIONAL ELECTRIC CODES. ALL BASEMENT AND GARAGE RECEPTACLES TO HAVE GFI PROTECTION. ALL BATHROOM ELECTRICAL TO BE ON GFI CIRCUIT. ALL EXTERIOR RECEPTACLES TO BE WEATHER-PROOF GFI.
- ALL SMOKE DETECTORS TO BE 120V WIRE IN SERIES. LOCATE WITHIN 15 FEET OF ANY BEDROOM DOORS. MINIMUM ONE PER FLOOR INCLUDING BASEMENT. PROVIDE BATTERY BACK-UP TYP.
- COMBUSTIBLE INSULATION SHALL MAINTAIN A 3" CLEARANCE FROM RECESSED LIGHTING FIXTURES UNLESS DEVICES ARE LISTED FOR LESSER CLEARANCE.
- ALL SWITCHES SHALL BE LOCATED AT A HEIGHT NOT TO EXCEED 48" ABOVE FINISHED FLOOR MEASURED FROM FINISHED FLOOR TO THE CENTERLINE OF THE SWITCH.
- ALL RECEPTACLES SHALL BE LOCATED AT A HEIGHT NOT LESS THAN 48" ABOVE FINISHED FLOOR MEASURED FROM FINISHED FLOOR TO THE CENTERLINE OF THE RECEPTACLE.
- ALL RECEPTACLES IN BEDROOMS TO BE ARC-FULT CIRCUIT INTERRUPTED AS REQUIRED BY CODE.
- ALL ELECTRICAL FIXTURES IN CLOTH CLOSETS TO FOLLOW NEC 410-B.
- ALL 120 VOLT SINGLE PHASE IS 120 AMPERE.
- RECEPTACLE/ELECTRICAL EQUIPMENT, LIGHT FIXTURES & FANS, INSTALLED IN ALL BATHROOMS SHALL BE INSTALLED W/ GFCI.

HVAC NOTES:

- HEATING EQUIPMENT SHALL BE CAPABLE OF MAINTAINING MINIMUM ROOM TEMPERATURE OF 68° F ABOVE THE FLOOR AND 2' FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- DUCT SYSTEMS SERVING HEATING, COOLING AND VENTILATION EQUIPMENT SHALL BE FABRICATED IN ACCORDANCE WITH THE PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE.
- DRYER EXHAUST SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE SECTION M16.01.

PLUMBING NOTES:

- STRUCTURAL AND PIPING PROTECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE SECTION P16.03. WATER SERVICE PIPE SHALL BE INSTALLED 42" BELOW GRADE FIN.
- WATER SUPPLY AND DISTRIBUTION LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE SECTION P16.01.
- ALL BELOW GRADE WATER PIPING AND PIPING FROM CITY MAIN TO METER SHALL BE TYPE K COPPER WITH LEAD FREE SOLDER.
- ALL ABOVE GRADE WATER PIPING DOWNSTREAM OF THE WATER METER SHALL BE TYPE M COPPER WITH LEAD FREE SOLDER.
- SEE RISER DIAGRAMS FOR MORE INFORMATION.

WALL BRACING NOTES:

- PROVIDE WOOD STRUCTURAL PANEL SHEATHING W/ MIN. 5/16" THICKNESS FOR 16" O.C. STUD SPACING PER TABLE R6.01.3.3 FOR CONTINUOUS SHEATHING AS METHOD FOR WALL BRACING. TYPICALLY, WHERE OPENINGS WITHIN WALLS REQUIRE ALTERNATIVE BRACING PER CHART R6.01.05 SEE FLOOR PLANS FOR LOCATIONS AND DETAIL IN SHEET 8.

DRAFTSTOPPING NOTES:

- ALL AREAS WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY DRAFTSTOPPING SHALL BE INSTALLED SO THAT THE AREA DOES NOT EXCEED 1000 SF.
- DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 1/2" GYPSUM BOARD, 3/8" TYPE 2-M-U PARTICLEBOARD OR EQUAL. DRAFTSTOPPING TO BE INSTALLED PARALLEL TO FLOOR FRAMING MEMBERS, TYPICAL.

FIREBLOCKING NOTES:

- FIREBLOCKING SHALL BE PROVIDED PER CODE.



FRONT ELEVATION

SCALE: 1/4"=1'-0"

NOTE: SEE ROOF PLAN ON SHEET 3 FOR ROOF PITCHES & OVERHANGS

5,946 SF SINGLE FAMILY
2 STORY RESIDENCE W/
865 SF FINISHED ATTIC

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
			WEATHERING	FROST LINE DEPTH	TERMITES					
30	50	B	SEVERE	3'-6"	MODERATE	-1° F	YES	NOT APPLICABLE	1635	48.7 F

MATERIALS NOTES:

- ALL EXTERIOR STONE IS BARNWOOD BLUE ASHLAR STONE
- ALL SIDING IS ARTIC WHITE JAMESHARDIE
- ALL WINDOW TRIM IS ULTREX STONE WHITE
- ALL ROOFS ARE STANDING SEAM METAL PAC-CLAD - ZINC COLOR
- FRONT DOOR IS BENJAMIN MOORE -HC-156
- CONCRETE PORCHES AND VERANDAS ARE CLAD WITH BLUE ICE BLUESTONE



ONE TRANS AM PLAZA DRIVE, SUITE #120
OAKBROOK TERRACE, IL, 60181
PHONE: 708-568-7281



PROJECT NUMBER: CP1807

BRAD DRENDEL BUILDERS

Telephone: 630.688.7065
Facsimile: 630.548.4963
bdrendel@comcast.net

ISSUE DATES:

DATE	DESCRIPTION
11-17-19	PRELIMINARY REVIEW SET
2-3-20	90 SET / REVISED 2-27-20
3-30-20	PRELIMINARY PERMIT SET
DATE	PERMIT

REVISIONS:

NO.	DATE	DESCRIPTION
1	DATE	DESCRIPTION
2	DATE	DESCRIPTION
3	DATE	DESCRIPTION
4	DATE	DESCRIPTION

PROJECT

THE KRUG RESIDENCE
870 MAYTAG ROAD
LAKE GENEVA, WISCONSIN

FRONT ELEVATION & CODES

COPYRIGHT © THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS. THE ORIGINAL PURCHASER OF THIS PLAN IS AUTHORIZED TO CONSTRUCT ONE BUILDING USING THIS PLAN. NO REVISION OR REUSE OF THIS PLAN IS PERMITTED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.

WIND UPLIFT CLIPS ARE REQUIRED FOR RAFTER-TO-WALL CONNECTIONS WHERE THE RAFTERS DO NOT INTERSECT CEILING JOISTS AT THE TOP PLATE CONNECTION. A CONTINUOUS LOAD PATH SHALL BE PROVIDED TO TRANSMIT THE UPLIFT FORCES FROM THE RAFTERS TO THE FOUNDATION PER 2012 IRC R602.11

PROVIDE WR GRACE ICE & WATERSHIELD TO EXTEND FROM EAVES EDGE TO A MIN OF 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING - MEASURED HORIZONTALLY AS SHOWN

1/2" CDX PLYWOOD SHEATHING
METAL ROOF ON 235° BUILDING FELT
INSULATION Baffle w/ 1" AIRSPACE
5/8" PSON 15 ANCHOR

INSULATION PER REFRATE
RAFTER ANCHOR
5" ALUMINUM GUTTER & DOWN SPOUT
1/2" CEDAR FASCIA ON 2x6 SUB-FASCIA
1 1/2" CONTINUOUS SCREENED VENT
3/8" CEDAR PLUD. SCOFFIT
1/2" CEDAR FRIEZE BD.

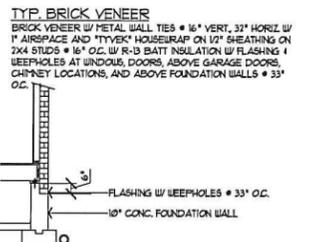
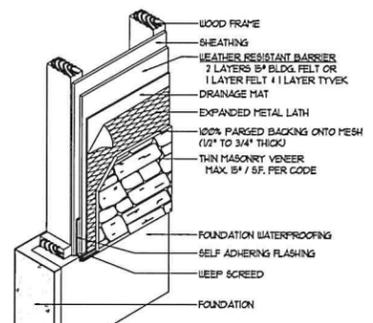
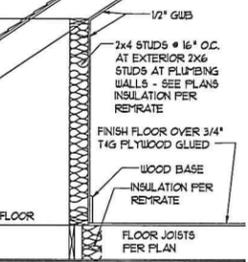
1/2" GIB CLG. JOIST PER PLAN
3/4" GYPSUM DRYWALL
(2) 2x12 UNO
2x4 STUDS @ 16" O.C. AT EXTERIOR 2x6 STUDS AT PLUMBING WALLS - SEE PLANS
INSULATION PER REFRATE

FINISH FLOOR OVER 3/4" T&G PLYWOOD GLUED
WOOD BASE INSULATION PER REFRATE SECOND FLOOR
WOOD FRAME SHEATHING WEATHER RESISTANT BARRIER 7 LAYERS 5/8" BLDG FELT OR 1 LAYER FELT + 1 LAYER TYVEK DRAINAGE MAT EXPANDED METAL LATH 150# PAPER BACKING ONTO MESH (1/2" TO 3/4" THICK) THIN MASONRY VENEER MAX. 5" / 5/8" PER CODE

FOUNDATION WATERPROOFING SELF ADHERING FLASHING WECP SCREED FOUNDATION

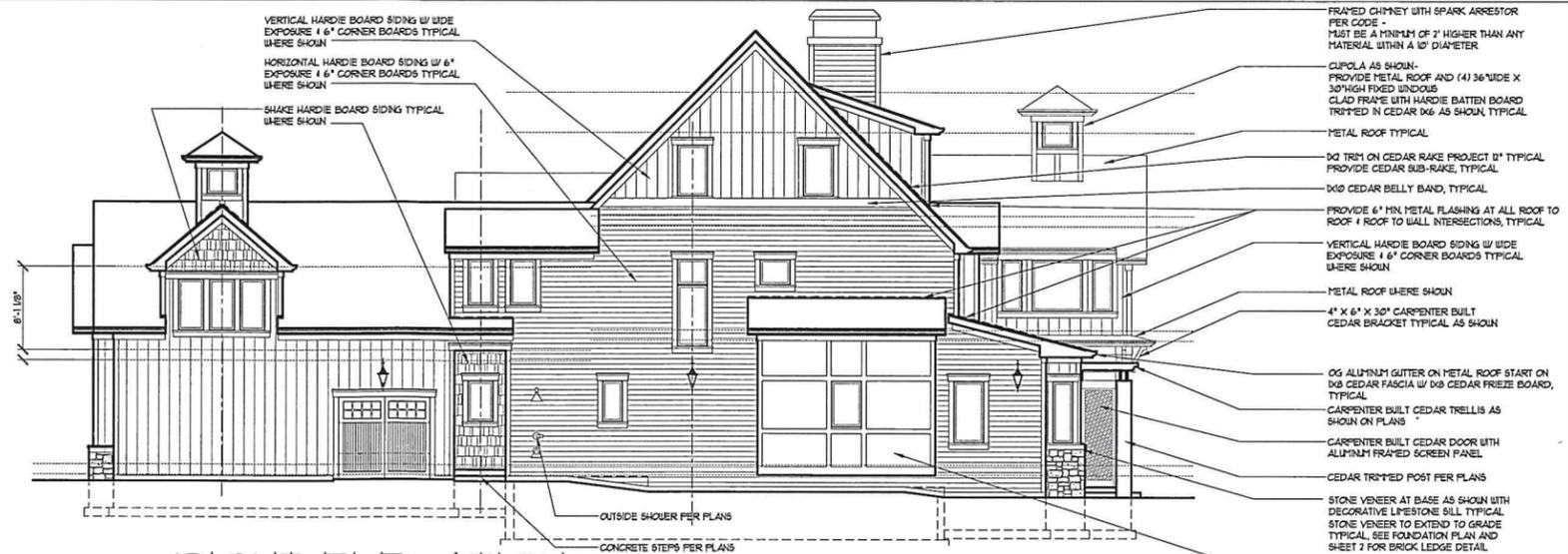
WOOD FRAME INSULATION PER REFRATE SECOND FLOOR
WOOD BASE INSULATION PER REFRATE SECOND FLOOR
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FOUNDATION WATERPROOFING SELF ADHERING FLASHING WECP SCREED FOUNDATION



TYP. BRICK WALL SECTION
SCALE: 1/4" = 1'-0"

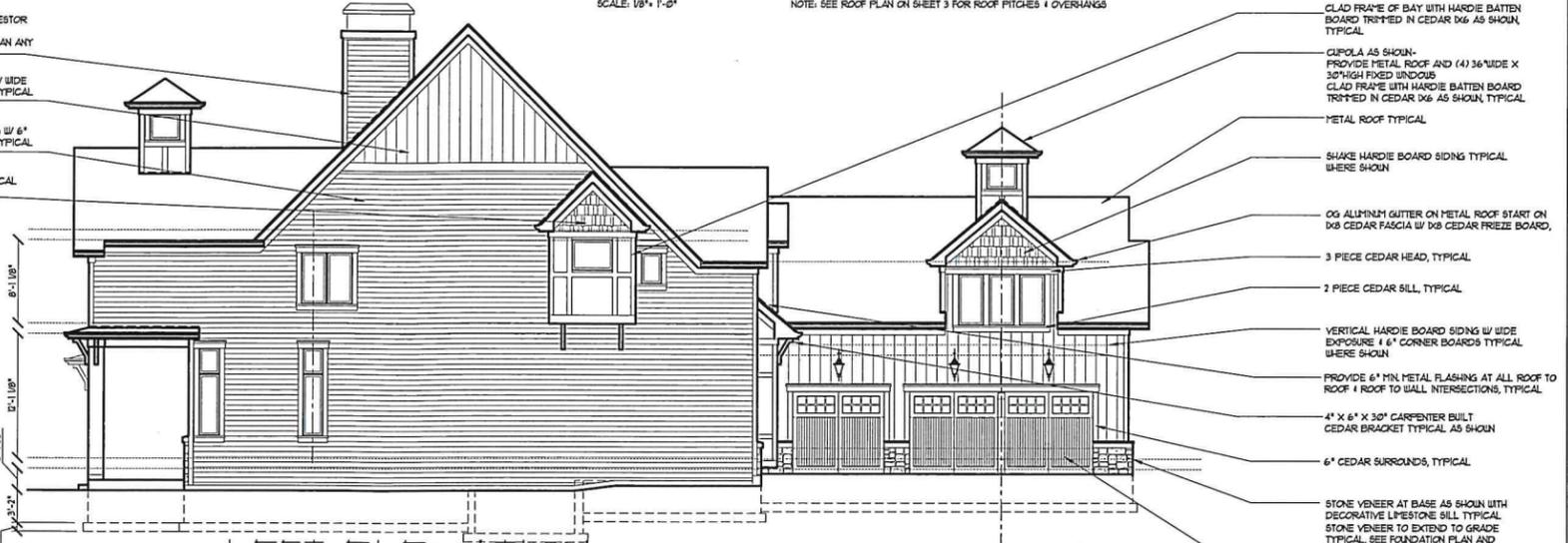
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- ALL ROOFS ARE STANDING SEAM METAL PAC-CLAD - ZINC COLOR
- FRONT DOOR IS BENJAMIN MOORE HC-156
- CONCRETE PORCHES AND VERANDAS ARE CLAD WITH BLUE ICE BLUESTONE



RIGHT ELEVATION
SCALE: 1/8" = 1'-0" NOTE: SEE ROOF PLAN ON SHEET 3 FOR ROOF PITCHES & OVERHANGS



REAR ELEVATION
SCALE: 1/8" = 1'-0" NOTE: SEE ROOF PLAN ON SHEET 3 FOR ROOF PITCHES & OVERHANGS



LEFT ELEVATION
SCALE: 1/8" = 1'-0" NOTE: SEE ROOF PLAN ON SHEET 3 FOR ROOF PITCHES & OVERHANGS

DESIGN & ARCHITECTURE
ONE TRANS AM PLAZA DRIVE SUITE #120
OAKBROOK TERRACE IL 60511
PHONE: 708-208-7241

Potts Designs
DRAWING DREAMS INTO REALITY
630.778.7588

PROJECT NUMBER: **CP1807**
BRAD DRENDEL BUILDERS
Telephone: 630.688.7065
Facsimile: 630.548.4963
bdrendel@comcast.net

ISSUE DATES:

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PROJECT

THE KRUG RESIDENCE
870 MAYTAG ROAD
LAKE GENEVA, WISCONSIN

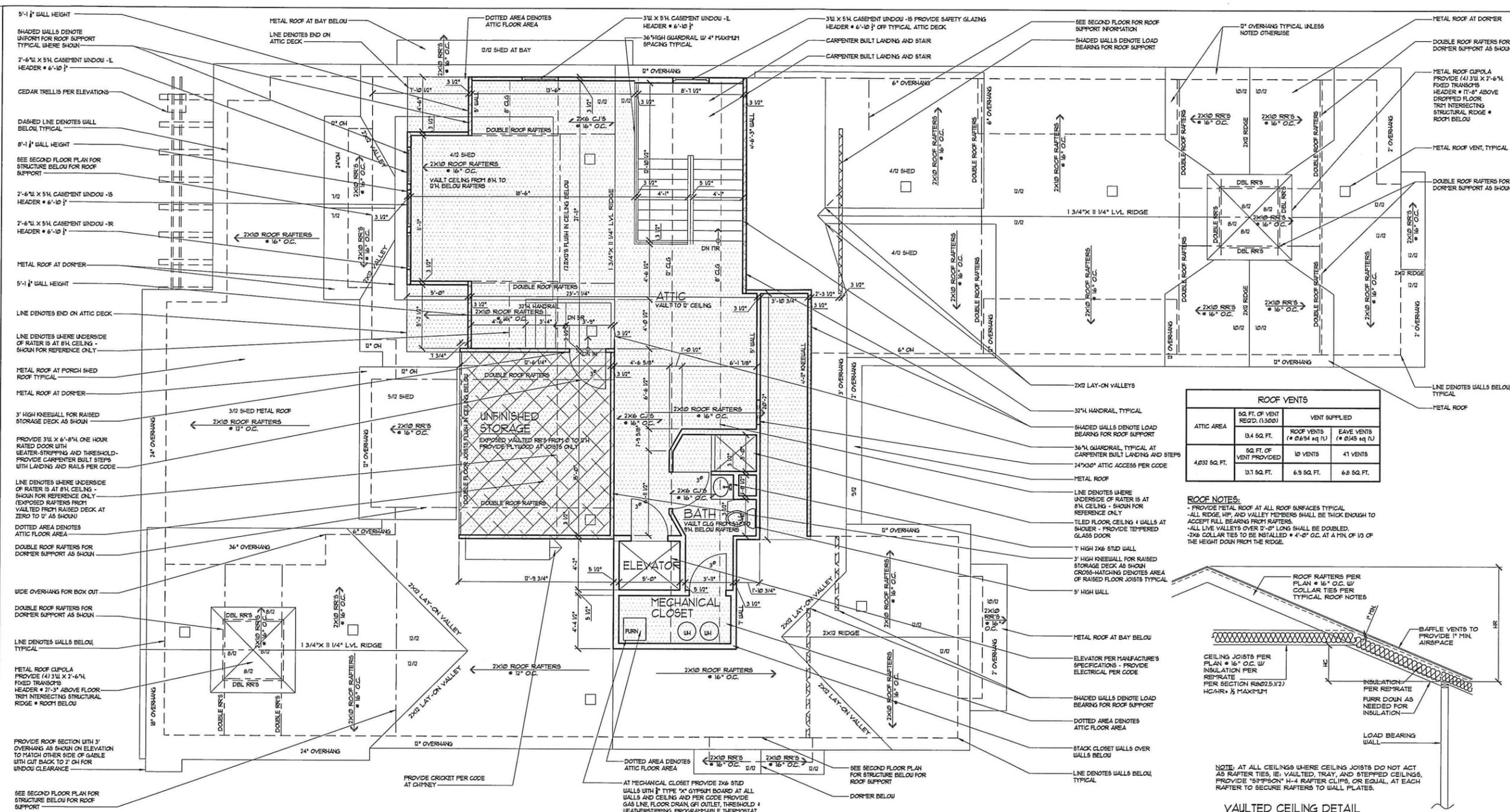
ELEVATIONS & CODES

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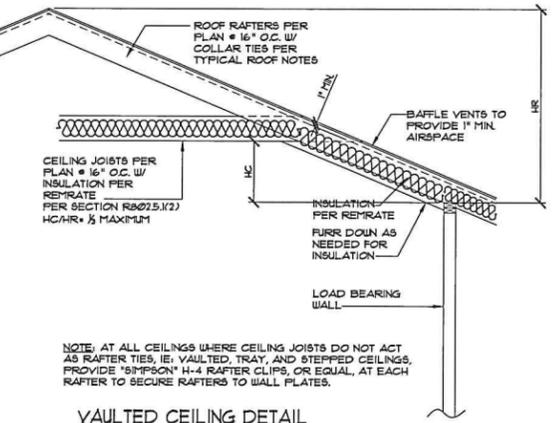
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ROOF VENTS

ATTIC AREA	SQ. FT. OF VENT REQ'D. (1:300)	VENT SUPPLIED
	13.4 SQ. FT.	ROOF VENTS (4 @ 0.64 sq ft) EAVE VENTS (4 @ 0.45 sq ft)
4,032 SQ. FT.	13.7 SQ. FT.	10 VENTS 41 VENTS
	13.7 SQ. FT.	6.9 SQ. FT. 6.8 SQ. FT.

ROOF NOTES:
 - PROVIDE METAL ROOF AT ALL ROOF SURFACES TYPICAL
 - ALL RIDGE, HIP, AND VALLEY MEMBERS SHALL BE THICK ENOUGH TO ACCEPT FULL BEARINGS FROM RAFTERS.
 - ALL LIVE VALLEYS OVER 12'-0" LONG SHALL BE DOUBLED.
 - 2X6 COLLAR TIES TO BE INSTALLED @ 4'-0" O.C. AT A MIN. OF 1/3 OF THE HEIGHT DOWN FROM THE RIDGE.

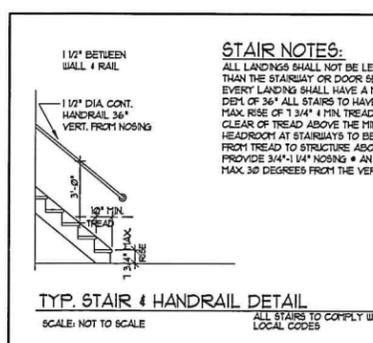


ROOF/ ATTIC PLAN

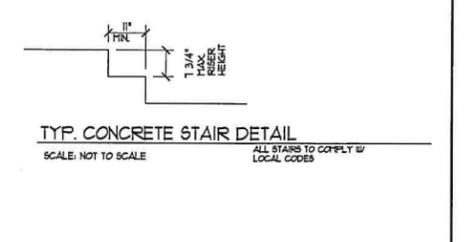
SCALE: 1/4" = 1'-0"

DOOR & WINDOW NOTES:

-WINDOWS SHALL BE ALUMINUM CLAD MANUFACTURED BY PELLA WINDOW COMPANY (UNDO) AND SHALL BE OF SIZE AND OPERATION AS INDICATED ON THE DRAWINGS (GRILLIES PER ELEVATIONS).
 -TEMPERED GLASS REQUIRED - ALL PICTURE WINDOWS, ALL WINDOWS OVER 9 SQ. FT. AND LESS THAN 18" ABOVE FINISHED FLOOR - ALL WINDOWS
 -SEE PLANS & ELEVATION FOR DIRECTION OF OPERABLE DOORS
 -IT IS THE RESPONSIBILITY BOTH THE GENERAL CONTRACTOR (OR OWNER IF ACTING AS GENERAL CONTRACTOR) AND THE DOOR/WINDOW SUPPLIER TO VERIFY THAT ALL ROUGH MASONRY OPENINGS AND DIMENSIONS ARE CORRECT AND ADEQUATE FOR THE PROPER INSTALLATION OF ALL DOOR/WINDOW SUPPLIED.
 -ANY ADDITIONAL WORK REQUIRED INCLUDING CALLINGS, FINISHING, BUCKING AND ADDITIONAL MASONRY OR CARPENTRY WORK TO PROVIDE A COMPLETELY FINISHED DOOR/WINDOW INSTALLATION IS THE RESPONSIBILITY OF THE SUPPLIER UNLESS THE ARCHITECT IS SPECIFICALLY NOTIFIED IN WRITING OF ALTERNATIVE ARRANGEMENTS.
 -NO ALTERATIONS TO THE DOORS OR WINDOW THAT ALTER THE AMOUNT OF LIGHT OR VENTILATION PROVIDED ARE ALLOWED UNLESS APPROVED IN WRITING BY THE ARCHITECT. IT IS THE WINDOW SUPPLIER'S RESPONSIBILITY TO PROVIDE LIGHT AND VENTILATION INFORMATION FOR ALL WINDOW UPON SUBMISSION OF PROPOSAL.
 -IT IS THE RESPONSIBILITY BOTH THE GENERAL CONTRACTOR (OR OWNER IF ACTING AS GENERAL CONTRACTOR) AND THE DOOR/WINDOW SUPPLIER TO VERIFY THE DIRECTION OF ANY OPERABLE DOORS BY COORDINATION OF THE PLANS AND ELEVATIONS, THE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.
 -PROVIDE AND INSTALL BLOCKING AND FINISHING AT ALL DOOR AND WINDOW HEADS. BLOCKING TO BE PRESERVATIVE TREATED TYP.
 -ALL OPERABLE WINDOWS AND DOORS SHALL HAVE SCREENS.
 -ALL BEDROOMS TO HAVE EGRESS WINDOWS
 -GLAZING AT HAZARDOUS LOCATIONS PER CODE
 -PROVIDE LOW E GLASS AT ALL WINDOWS/DOORS - 0.33 PENETRATION U-FACTOR FOR ALL GLAZING



STAIR NOTES:
 ALL LANDINGS SHALL NOT BE LESS THAN THE STAIRWAY OR DOOR SERVED. EVERY LANDING SHALL HAVE A MIN. DEPT. OF 36" ALL STAIRS TO HAVE A MAX. RISE OF 7 1/4" & MIN. TREAD OF 10" CLEAR OF TREAD ABOVE THE MIN. HEADROOM AT STAIRWAYS TO BE 6'-8" FROM TREAD TO STRUCTURE ABOVE PROVIDE 3/4"x1/4" NOSING - AN ANGLE MAX 30 DEGREES FROM THE VERTICAL



TYP. CONCRETE STAIR DETAIL
 SCALE: NOT TO SCALE
 ALL STAIRS TO COMPLY W/ LOCAL CODES

ROOF PLAN & DETAILS

THE KRUG RESIDENCE
 870 MAYTAG ROAD
 LAKE GENEVA, WISCONSIN

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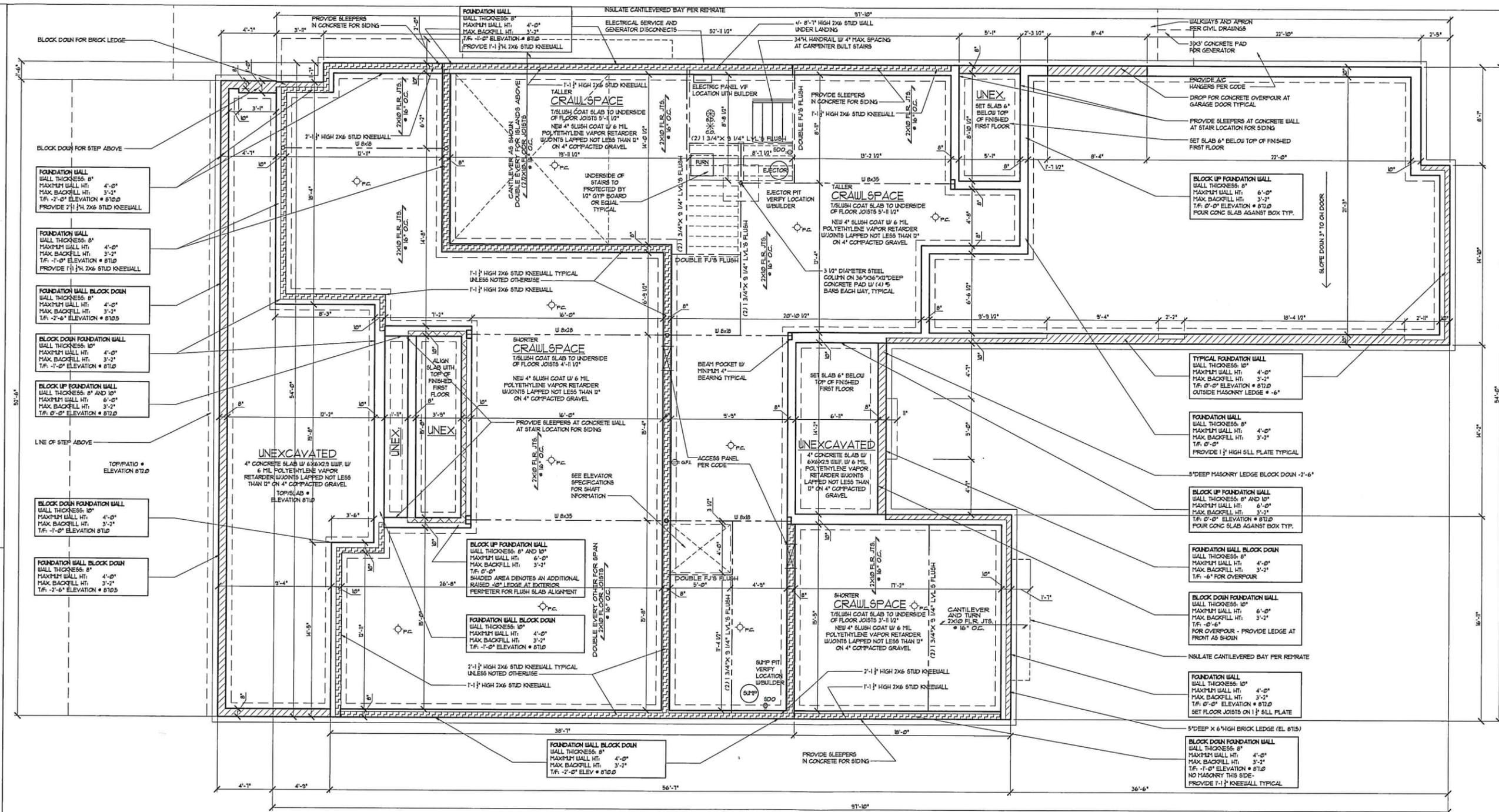
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PROJECT

THE KRUG RESIDENCE
 870 MAYTAG ROAD
 LAKE GENEVA, WISCONSIN

FOUNDATION PLAN & DETAILS



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

CONCRETE FOUNDATION WALLS SCHEDULE IRC R404.12(B)

FOUNDATION WALLS:	
THICKNESS OF WALLS:	8" FROST WALLS 10" FOUNDATION WALLS
MAXIMUM HEIGHT OF WALL:	6'-0"
MAX HEIGHT OF BACKFILL:	3'-2"
DESIGN:	FC-3000/1 FT+40,000/1 60 PSF-FT
FOR 7" H. FOUND. WALLS OR LESS:	
HORIZONTAL	IRC 2012 TABLE R404.12(1) -FOR WALLS LESS THAN 8' HIGH ONE NO. 4 BAR WITHIN 12"5 OF THE TOP OF THE WALL STORY AND ONE NO. 4 BAR NEAR MID-HEIGHT OF THE WALL STORY
VERTICAL	IRC 2012 TABLE R404.12(B) NO VERTICAL REINFORCEMENT REQUIRED

CONCRETE FLOORS/WALLS PER IRC

ALL CONCRETE FOUNDATION WALLS 3000PSI AND CONCRETE FLOORS TO BE A MINIMUM OF 4000PSI COMPRESSIVE STRENGTH OF CONCRETE.

CONCRETE PAD CHART

36" X 36" CONCRETE PAD	• 1500 • 135 KIPS MAX ALLOWABLE
48" X 48" CONCRETE PAD	• 1500 • 24 KIPS MAX ALLOWABLE

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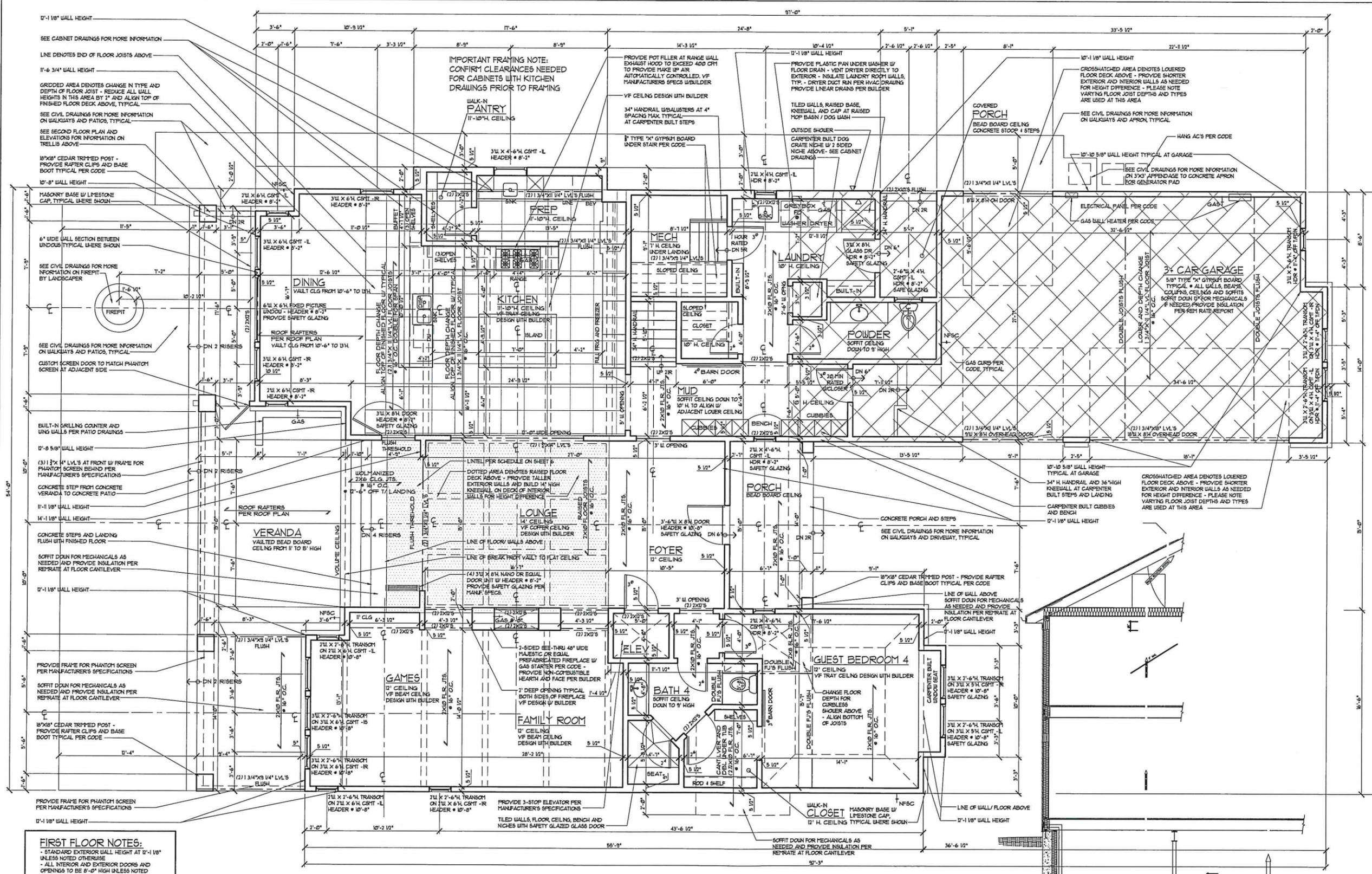
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PROJECT

THE KRUG RESIDENCE
 870 MAYTAG ROAD
 LAKE GENEVA, WISCONSIN

FIRST FLOOR PLAN & DETAILS



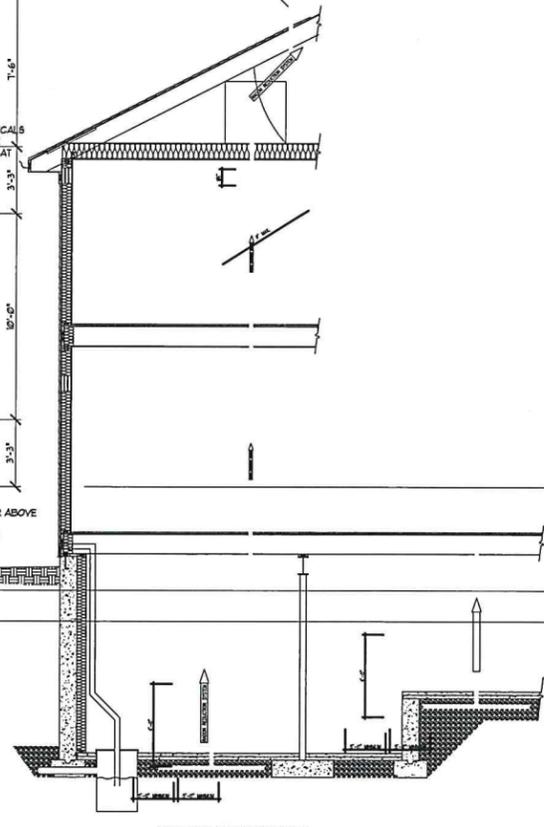
IMPORTANT FRAMING NOTE:
 CONFIRM CLEARANCES NEEDED FOR CABINETS WITH KITCHEN DRAWINGS PRIOR TO FRAMING

FIRST FLOOR NOTES:
 - STANDARD EXTERIOR WALL HEIGHT AT 10'-1 1/8"
 - ALL INTERIOR AND EXTERIOR DOORS AND OPENINGS TO BE 8'-0" HIGH UNLESS NOTED OTHERWISE
 - ALL HEADERS TO BE SET AT 8'-2" UNLESS NOTED OTHERWISE
 - ALL WALL STUDS TO BE 2X6 STUDS TYPICAL WITH DOUBLE WALL OF 2X4 AND 2X6 STUDS AT ALL EXTERIOR PLUMBING WALLS TYPICAL
 - SEE SHEET 3 FOR STAIR INFORMATION
 - ALL INTERIOR/EXTERIOR STAIRS TO HAVE 1 3/4" MAX RISE, 10" MIN TREAD DEPTH CLEAR OF NOSING AND 4 MIN OF 6" RAMP CONT. HEADROOM ALL STAIRS OVER 7 RISERS TO HAVE 36" GUARDRAIL
 - W/ALLISTERS MAX 4" O.C. AND CONT. 34" H. HANDRAIL ON ONE SIDE. ABOVE GUARDRAIL IS ALSO REQUIRED ON ALL OPEN AREAS EXCEEDING 34" ABOVE ADJACENT GRADE OR FLOOR LEVEL.
 - ALL WINDOW SIZES ARE 50% CASEMENTS UNLESS NOTED OTHERWISE

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

2,100 SQ. FT. FIRST FLOOR



PASSIVE SOLAR DEPRESSION (GOD SYSTEM)

ISSUE DATES:

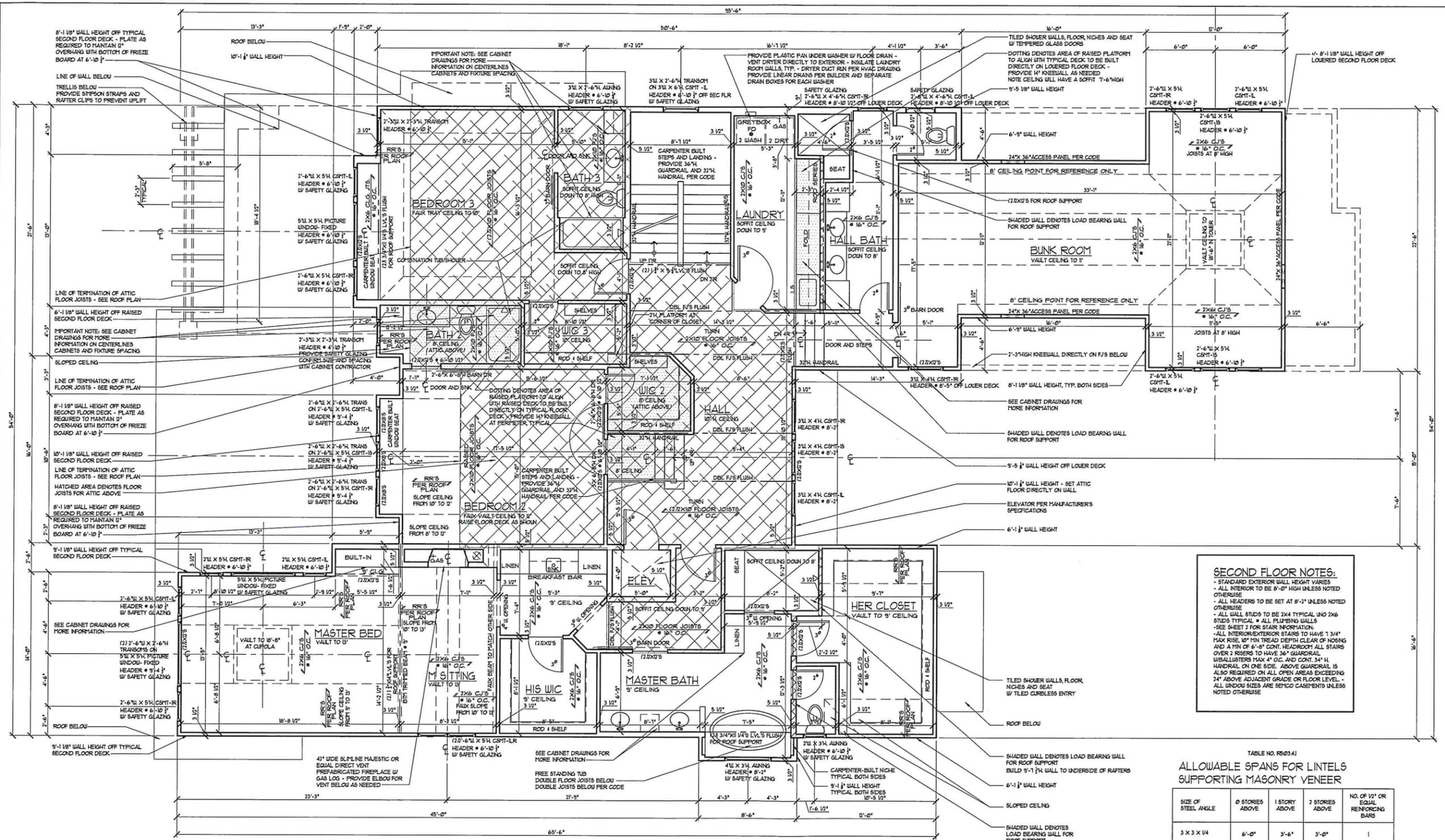
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PROJECT

THE KRUG RESIDENCE
 870 MAYTAG ROAD
 LAKE GENEVA, WISCONSIN



SECOND FLOOR NOTES:
 - STANDARD EXTERIOR WALL HEIGHT VARIES
 - ALL INTERIOR TO BE 8'-0" HIGH UNLESS NOTED OTHERWISE
 - ALL HEADERS TO BE SET AT 8'-3" UNLESS NOTED OTHERWISE
 - ALL WALL STUDS TO BE 2X4 TYPICAL UNO 2X6 STUDS TYPICAL * ALL PLUMBING WALLS
 - SEE SHEET 2 FOR STAIR INFORMATION
 - ALL INTERIOR/EXTERIOR STAIRS TO HAVE 1 3/4" MAX RISE, 10" MIN TREAD DEPTH CLEAR OF NOSING AND A MIN OF 6'-0" CONT. HEADROOM ALL STAIRS OVER 2 RISERS TO HAVE 36" GUARDRAIL. WALL BRACKETS MAX 4" O.C. AND CONT. 34" H. HANDRAIL ON ONE SIDE. ABOVE GUARDRAIL IS ALSO REQUIRED ON ALL OPEN AREAS EXCEEDING 24" ABOVE ADJACENT GRADE OR FLOOR LEVEL.
 - ALL WINDOW SIZES ARE SENCOC CASEMENTS UNLESS NOTED OTHERWISE

TABLE NO. RS03.41
ALLOWABLE SPANS FOR LINTELS SUPPORTING MASONRY VENEER

SIZE OF STEEL ANGLE	0 STORIES ABOVE	1 STORY ABOVE	2 STORIES ABOVE	NO. OF 1/2" OR EQUAL REINFORCING BARS
3 X 3 X 1/4	6'-0"	3'-6"	3'-0"	1
4 X 3 X 1/4	8'-0"	5'-0"	3'-0"	1
6 X 3 1/2 X 1/4	14'-0"	8'-0"	3'-6"	2
8 X 4 X 1/2	20'-0"	11'-0"	5'-0"	4

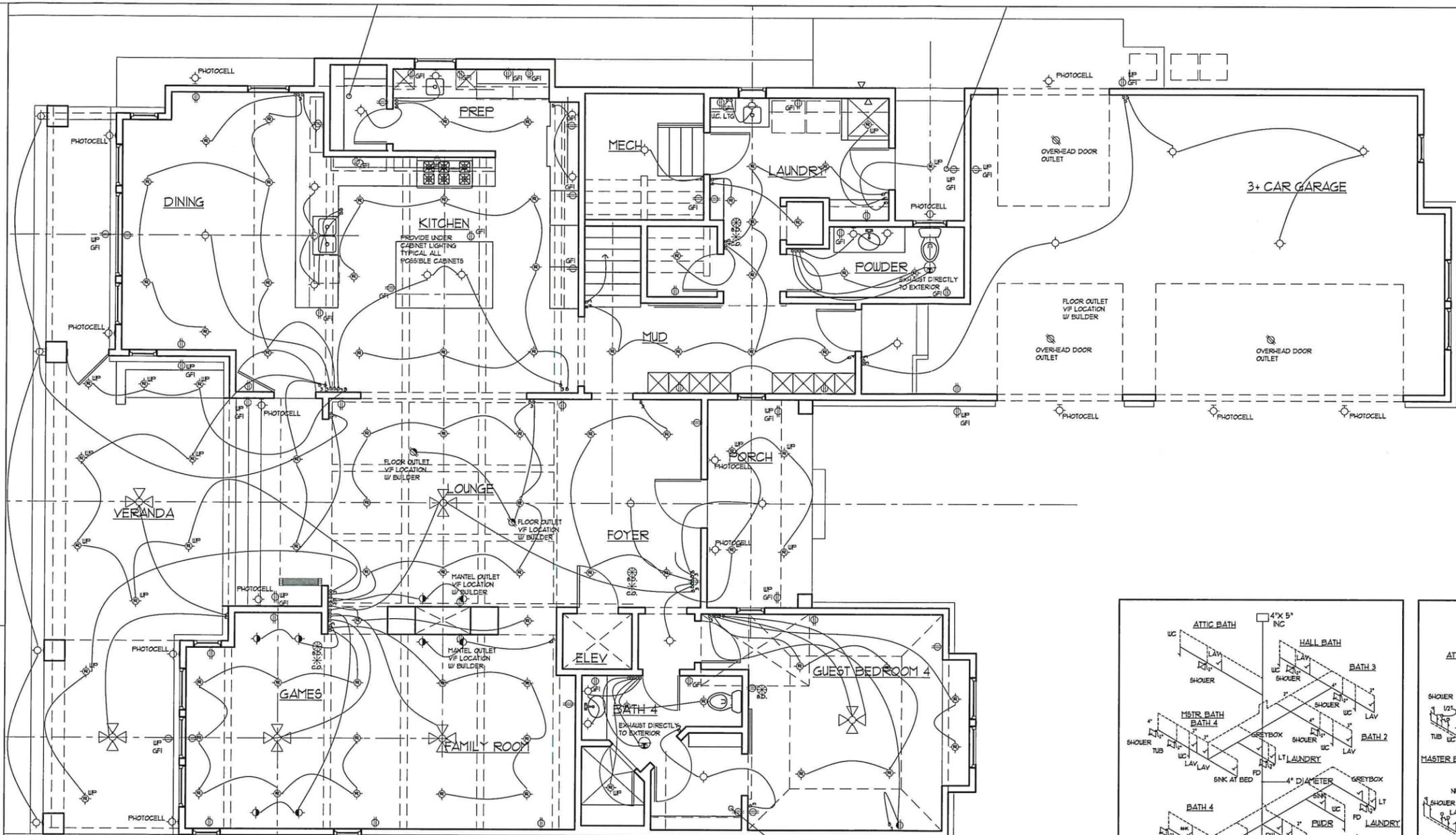
- LONG LEG OF ANGLE TO BE IN VERTICAL POSITION
- DEPTH OF REINFORCED LINTELS SHALL NOT BE LESS THAN 8" AND ALL CELLS OF HOLLOW MASONRY LINTELS TO BE GROUTED SOLID.
- REINFORCING BARS SHALL EXTEND NOT LESS THAN 8 INCHES INTO THE SUPPORT.
- STEEL MEMBERS INDICATED ARE ADEQUATE TYPICAL. EXAMPLES OTHER STEEL MEMBERS MEETING STRUCTURAL DESIGN REQUIREMENTS MAY BE USED.
- FOR 16'-0" GARAGE DOOR HEADER USE 9" X 4" X 5/8" STEEL ANGLE

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

3246 SQ. FT. SECOND FLOOR

SECOND FLOOR PLAN & DETAILS



ELECTRICAL SYMBOLS

SYMBOL	DESCRIPTION
	CEILING FAN/ LIGHT
	SURFACE MOUNTED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	SURFACE MOUNTED W/ PULL CHAIN
	WALL MOUNTED FIXTURE
	EMERGENCY LIGHT FIXTURE
	FISH-EYE DIRECTIONAL LIGHT FIXTURE
	TRACK LIGHTING
	FLUORESCENT FIXTURE
	EMERGENCY LIGHT FIXTURE
	COMBINATION LIGHT & EXHAUST FAN
	SMOKE ALARM (HARD WIRED)
	CARBON MONOXIDE DETECTOR
	THERMOSTAT
	WALL SWITCH (44" AFF, UNO)
	THREE WAY SWITCH (44" AFF, UNO)
	DIMMER SWITCH (44" AFF, UNO)
	DUPLEX WALL OUTLET (15" MIN. AFF, UNO)
	QUAD OUTLET (15" MIN. AFF, UNO)
	SWITCHED OUTLET (15" MIN. AFF, UNO)
	DUPLEX WALL OUTLET (15" AFF, UNO)
	GROUND FAULT INTERRUPTER (15" AFF)
	WATERPROOF OUTLET (W/ GFI)
	RECESSED SERVICE PANEL
	EXHAUST FAN

PLEASE REFER TO GENERAL NOTES ON SHEET 2 OF THE DRAWINGS FOR ADDITIONAL ELECTRICAL NOTES REQUIRED PER LOCAL CODES.

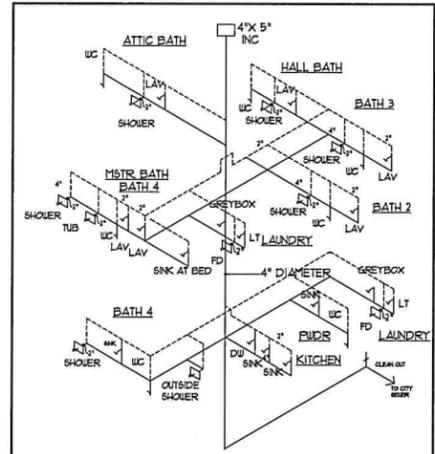
120 VOLT INTER-CONNECTED SMOKE AND CARBON MONOXIDE DETECTORS REQUIRED ON ALL LEVELS AND IN THE VICINITY OF ALL BEDROOMS MUST BE HARDWIRED PER R303.5!

75% OF PERMANENTLY INSTALLED LUMINAIRES MUST BE FLUORESCENT OR CFL LAMPS PER CODE SECTION 480J LIGHTING EQUIPMENT

ARC-FAULT CIRCUIT INTERRUPTER REQUIRED AT ALL DUELLING UNIT BEDROOMS, TYPICAL

FIRST FLOOR ELECTRICAL PLAN

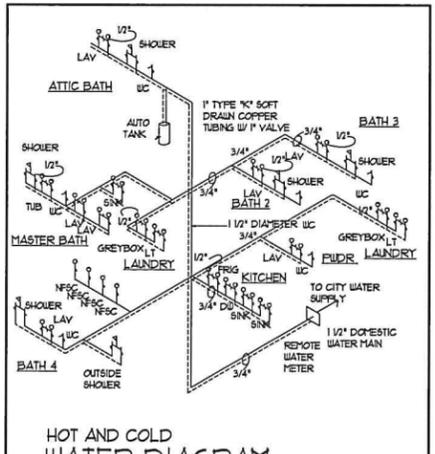
SCALE: 1/4" = 1'-0"



WASTE DIAGRAM

NOT TO SCALE

FIXTURE	MIN. SWEDEY	MIN. WASTE
WATER CLOSET (WC)	3/8"	4"
LAVATORY (LAV)	3/8"	1 1/2"
TUB/SHOWER	1/2"	2"
KITCHEN SINK	1/2"	2"
DISHWASHER	1/2"	2"
LAUNDRY	1/2"	2"



HOT AND COLD WATER DIAGRAM

NOT TO SCALE

--- COLD WATER
--- HOT WATER

NOTE:
- ALL PIPING TO BE COPPER.
- PROVIDE 24" AIR CHAMBERS ABOVE ALL FIXTURES AND ALL RISERS. (TYPICAL)
- AUTO TANKS SHALL HAVE APPROVED TYPE TEMPERATURE AND PRESSURE RELEASE VALVE.
- PROVIDE 1" AIR CHAMBER SHUTOFF ON ALL RISERS AND BRANCHES.

FIXTURE AND EQUIPMENT	SIZE
WATER CLOSET	3/8"
BATH TUBS	3/8"
TUB/SHOWER VALVE	1/2"
SHOWER BASE	1/2"
SHOWER VALVE	1/2"
LAV BOUL	1/2"
LAV FAUCET	1/2"
KITCHEN SINK	3/8"
WATER HEATERS	1/2"
BOOSTER PUMP	1/2"

LAUN SPRINKLER & IRRIGATION NOTE:
PLUMBING FIXTURES AND IRRIGATION CONTROLLERS SHALL BEAR WATERSENSE LABEL FOR ALL FIXTURES AVAILABLE

DESIGN & ARCHITECTURE
ONE TRANS AM PLAZA DRIVE SUITE #120
OAKBROOK TERRACE IL 60181
PHONE: 708-509-7241

POTTS DESIGNS
DRAWING DREAMS INTO REALITY
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THE KRUG RESIDENCE
870 MAYTAG ROAD
LAKE GENEVA, WISCONSIN

FIRST FLOOR ELECTRICAL PLAN

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THE KRUG RESIDENCE
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SECOND & ATTIC ELECTRICAL PLAN

ELECTRICAL SYMBOLS

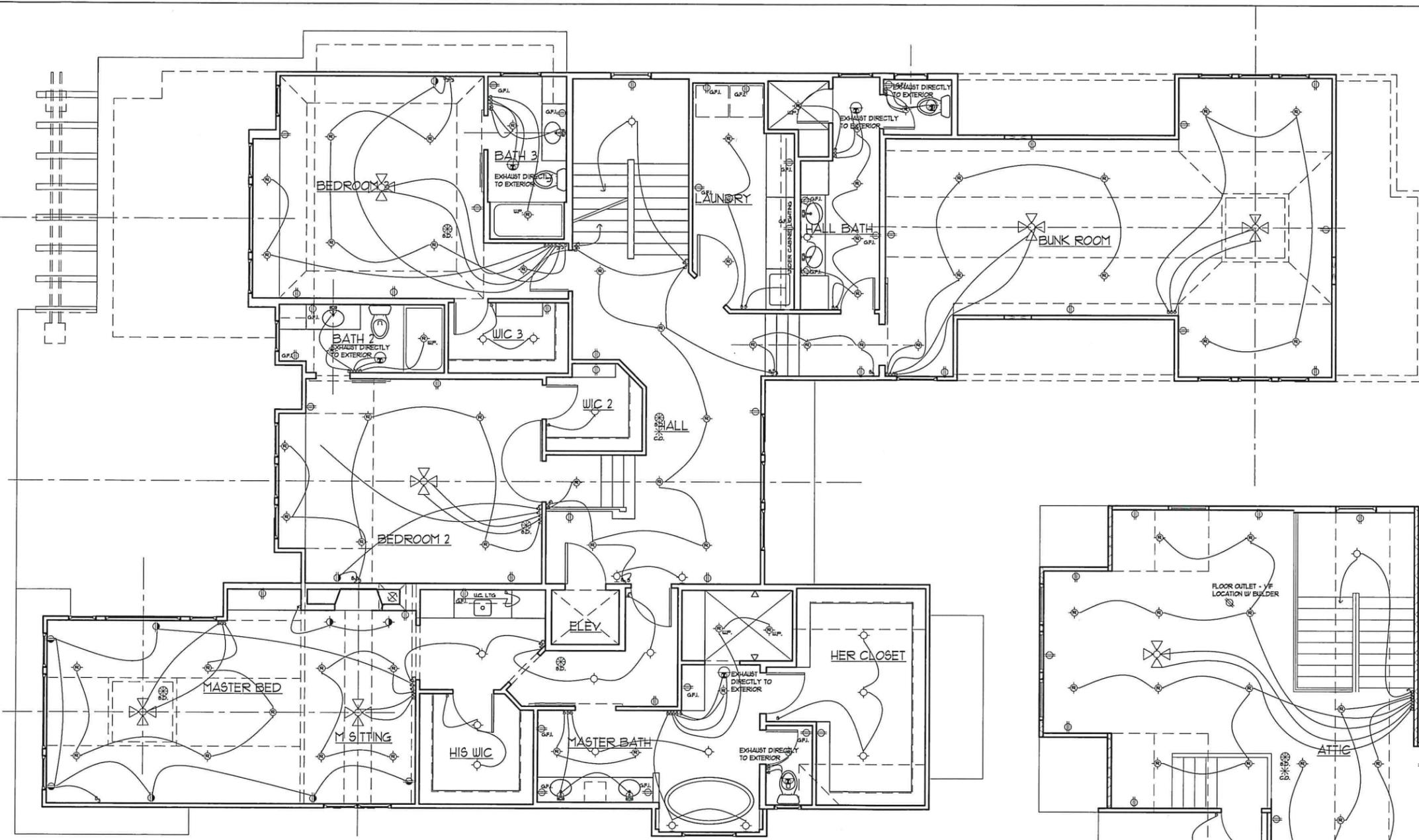
SYMBOL	DESCRIPTION
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	WALL MOUNTED FIXTURE
	EMERGENCY LIGHT FIXTURE
	'FISH-EYE' DIRECTIONAL LIGHT FIXTURE
	TRACK LIGHTING
	FLUORESCENT FIXTURE
	EMERGENCY LIGHT FIXTURE
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	WATERPROOF OUTLET (W/ GFI)
	RECESSED SERVICE PANEL
	EXHAUST FAN

PLEASE REFER TO GENERAL NOTES ON SHEET 2 OF THE DRAWINGS FOR ADDITIONAL ELECTRICAL NOTES REQUIRED PER LOCAL CODES.

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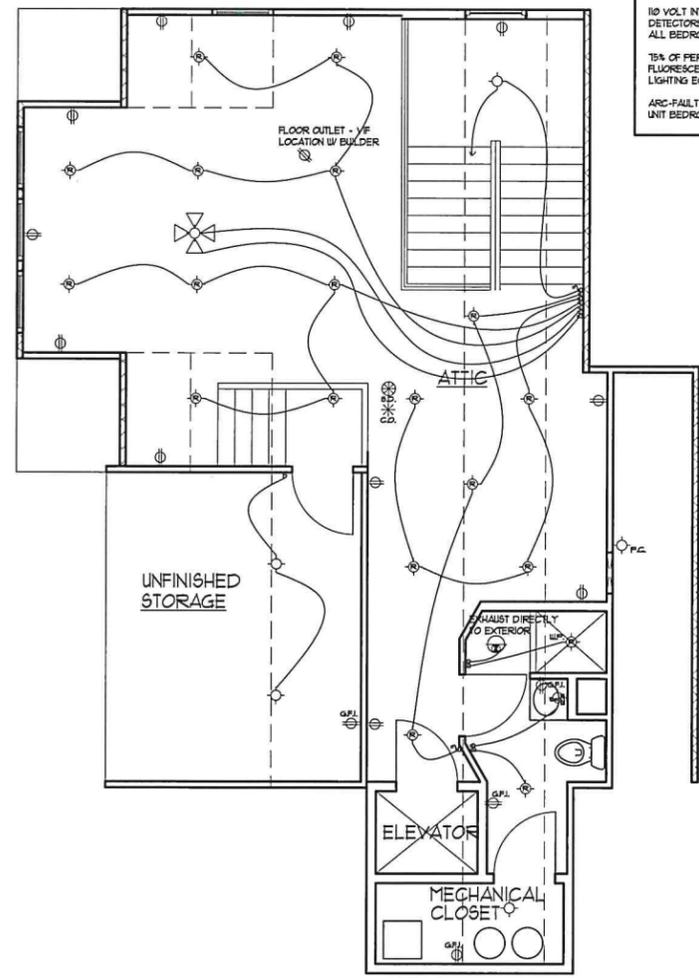
75% OF PERMANENTLY INSTALLED LUMINAIRES MUST BE FLUORESCENT OR CFL LAMPS PER CODE SECTION 404.1 LIGHTING EQUIPMENT

ARC-FAULT CIRCUIT INTERRUPTER REQUIRED AT ALL DWELLING UNIT BEDROOMS, TYPICAL



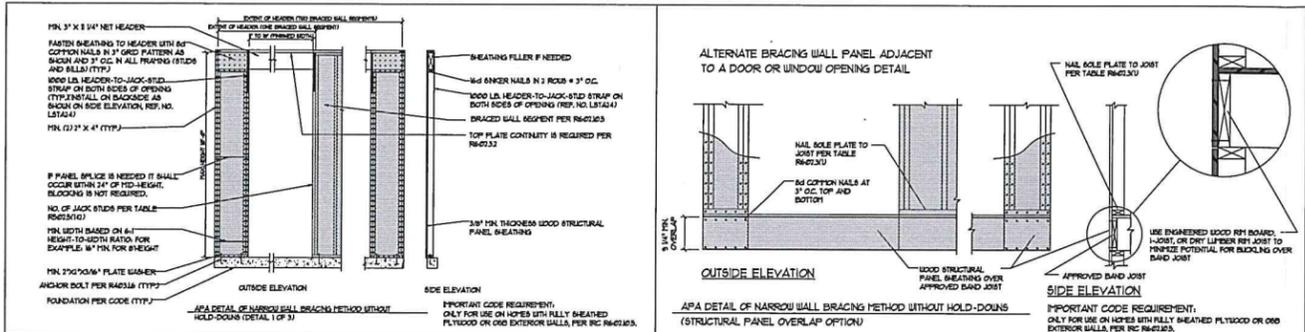
SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



ATTIC ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 15, 2020

Agenda Item: 8

Applicant:
Brian Nelson
21605 N Tiffany Ct.
Kildeer, IL 60047

Request: Conditional Use Permit
New 2nd Floor Addition to the Existing
Single Family Residence
1640 Lake Shore Dr.
Estate Residential (ER-1)
Tax Key No. ZLM00039

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) that would allow for the construction of a new 2nd floor addition to the existing single family residence located in the Estate Residential (ER-1) zoning district utilizing the Single-Family Residential – 4 (SR-4) zoning.

Project Details from CUP Submittal

The proposed project submittal meets or exceeds all requirements of the Zoning Ordinance.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
 - a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

- b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

- e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

1640 LAKE SHORE DRIVE, LAKE GENEVA WI
(SITE PLAN INCLUDED WITH LEGAL DESCRIPTION)

Name and Address of Current Owner:

BRIAN NELSON 21605 N TIFFANY CT KILDEER IL
60047

Telephone No. with area code & Email of Current Owner: 773-230-8401

Bnelson@lapmaster.com

Name and Address of Applicant:

BRIAN NELSON
21605 N. TIFFANY CT. KILDEER IL 60047

Telephone No. with area code & Email of Applicant: 773.230.8401

bnelson@lapmaster.com

Proposed Conditional Use: SECOND FLOOR ADDITION TO EXISTING
RANCH RESIDENCE

Zoning District in which land is located: SR-4

Names and Addresses of architect, professional engineer and contractor of project:

MIDWEST DESIGN GROUP INC - ADAM SHORE
11445 HILSBORO DR. HUNTLEY IL 60142

Short statement describing activities to take place on site:

EXISTING RANCH HOME TO HAVE PROPOSED NEW SECOND FLOOR
ADDITION ADDED

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

4.30.20
Date


Signature of Applicant

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ **Pre-submittal staff meeting scheduled:**

Date of Meeting: _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

Follow-up pre-submittal staff meetings scheduled for:

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Application form filed with Zoning Administrator:** **Date:** _____ **by:** _____

___ **Application fee of \$ _____ received by Zoning Administrator:** **Date:** _____ **by:** _____

___ **Reimbursement of professional consultant costs agreement executed:** **Date:** _____ **by:** _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator) **Date:** _____ **by:** _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)* **Date:** _____ **by:** _____

↓

✓ ___ (a) A written description of the intended use describing in reasonable detail the:

- ✓ Existing zoning district(s) (and proposed zoning district(s) if different);
- ~~N/A~~ Land use plan map designation(s);
- ✓ Current land uses present on the subject property;
- ✓ Proposed land uses for the subject property (per Section 98-206);
- ✓ Projected number of residents, employees, and daily customers;
- ✓ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
- ~~N/A~~ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

In the legend, data for the subject property on:

- Lot Area;
- Floor Area;
- ~~N/A~~ Floor Area Ratio (b/a);
- Impervious Surface Area;
- Impervious Surface Ratio (d/a);
- Building Height.

(d) A **Detailed Landscaping Plan** of the subject property:

- Scale same as main plan (> or equal to 1" equals 100')
- Map reduction at 11" x 17"
- Showing the location of all required buffer yard and landscaping areas
- Showing existing and proposed Landscape Point fencing
- ~~N/A~~ Showing berm options for meeting said requirements
- ~~N/A~~ Demonstrating complete compliance with the requirements of Article VI
- ~~N/A~~ Providing individual plant locations and species, fencing types and heights, and berm heights;

(e) A **Grading and Erosion Control Plan**:

- ~~N/A~~ Same scale as the main plan (> or equal to 1" equals 100')
- ~~N/A~~ Map reduction at 11" x 17"
- ~~N/A~~ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

(f) **Elevation Drawings of proposed buildings or remodeling of existing buildings**:

- Showing finished exterior treatment;
- With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- ~~N/A~~ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III.FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

N/A Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;

N/A If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";

N/A Exterior building and fencing materials (Sections 98-718 and 98-720);

N/A Possible future expansion and related implications for points above;

N/A Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

✓ _____ (b) A Small Location Map at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

✓ _____ (c) A Property Site Plan drawing which includes:

✓ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;

N/A The date of the original plan and the latest date of revision to the plan;

✓ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);

✓ A reduction of the drawing at 11" x 17";

✓ A legal description of the subject property;

✓ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;

✓ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;

✓ All required building setback lines;

✓ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;

✓ The location and dimension (cross-section and entry throat) of all access points onto public streets;

N/A The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;

N/A The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;

N/A The location of all outdoor storage areas and the design of all screening devices;

N/A The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;

N/A The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;

N/A All engineering requirements for utilities, site designs, etc;

N/A The location and type of any permanently protected green space areas;

N/A The location of existing and proposed drainage facilities for storm water;

- ✓ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- ✓ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- ✓ (e) Written justification for the proposed conditional use:
 - Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. *(See below)*

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

Development Review Committee (DRC) Application

Complete as much detailed information as possible to allow for a comprehensive departmental review prior to a Development Review Committee meeting. This application must be returned to the Building Inspector, with all conceptual plans, designs and other information prior to the scheduling a DRC meeting.

Applicant Information

Property Address 1640 LAKE SHORE DRIVE, LAKE GENEVA WI
Applicant name BRIAN NELSON
Applicant email bnelson@lapmasters.com Phone Number 773-230-8401

Architect/Contractor/Designer Name MIDWEST DESIGN GROUP - ADAM SHORE
Architect/Contractor/Designer Email adam.mdg@gmail.com Phone Number 224-800-3030

Type of Construction: New _____ Addition Remodel _____
Type of Development: Single-family Multi-family _____ Commercial _____ Industrial _____
Type of Business N/A

Engineering

Site Plans should include the following: Project title and owner's/developer's name and address noted, architect's and/or engineer's name and address noted, property boundaries and dimensions, abutting property zoning classifications, general description of building materials, façade and roof detail, setback lines indicated, easements for access, if any, 100-year floodplain identification, existing and proposed topography shown at a contour interval of one foot, indicating proposed grade and location of improvements, signage and outdoor lighting, number of parking spaces provided, type, size and location of all structures with all building dimensions shown, location of existing and general location of proposed sanitary sewers, storm sewers, water-mains, and any proposed stormwater management facilities, location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening, location of pedestrian sidewalks and walkways, graphic outline of any development staging that is planned, driveway locations and sizes, handicap accessibility, environmental concerns (odor, smoke, noise, graphic scale and north arrow.

- Storm water management provisions provided? YES / NO
 - As-built/certification notification
- Erosion control plan provided? YES / NO
- Wetlands, floodplains, environmental corridors, groundwater Identified. YES / NO
- Utility Plans Provided
 - Watermain
 - Sanitary Sewer
 - Storm Water
- Is a Land Division required? YES / (NO)
- Access points and dimensions shown? YES / (NO)
 - WISDOT Right-of-way?
 - County Right-of-way?
- Estimated Traffic impacts _____
 - Traffic Study Required YES / (NO)
 - Traffic Control Plan Required YES / (NO)
 - Will construction affect street parking or intersections? YES / (NO)

- Paving Materials, Typical Sections? YES / NO
- WDNR Notice of Intent required? (Land disturbance more than 1 acre)? YES / NO
- Watermain extension required? YES / NO
- Sanitary sewer extension required? YES / NO
- SEWRPC Service Area Amendment needed? YES / NO
- Is a Chapter 30 Permit (wetland/waterway) required? YES / NO
- Proposed building/expansion dimensions NOT EXCEEDING EXIST. BUILDING FOOTPRINT
- Will there be signage? YES / NO type (mounted, freestanding) FREESTANDING
- Exterior lighting plans? YES / NO
- What kind of noise or level of noise will the business have? TYPICAL
- Detailed property Site Plan? YES / NO Date of Plan: 12-13-2012
- Green Space Calculations (Existing vs. Proposed) YES / NO
- Are landscape plans provided? YES / NO
- Is a Land Division required? YES / NO

Water/Sewer Utilities

If an existing structure please circle the following:

- Will existing sewer & water connections be used? YES / NO
- Will your project require the installation of a grease interceptor? YES / NO

If the development is Commercial or Industrial, please provide the following:

- Water service size requirement N/A
- Estimated daily water usage in gallons per day N/A
- Estimated maximum water flow in gallons per minute N/A
- Number of bathrooms N/A
- Brief description of process (if Industrial) N/A

If the development is a multi-family dwelling, please provide the following:

- Number of units N/A
- Number of bedrooms in each unit N/A
- Water service size requirement N/A



Midwest Design Group Inc.
11445 Hillsboro Drive
Huntley, IL. 60142
Office: 224.800.3030
Email: adam.mdg@gmail.com
May 2nd 2020
John Matustik
Matustik Builders

City of Lake Geneva
Site Plan review – Application for
Conditional Use.

Re: Letter regarding petition for a Conditional Use Permit.

The enclosed letter is a petition for a Conditional Use for the Single Family Residence located at 1640 Lake Shore Drive, within the limits of the City of Lake Geneva Wisconsin, in The Manor Subdivision of which Brian and Pei Nelson are the property owners. The current Zoning of the property is SR-4.

Brian and Pei purchased the existing single family residence in December of 2012. The said single family residence is currently a single story 3 Bedroom ranch home with an attached 2 Car Garage. The existing residence is clad with Stone Veneer, and has an Asphalt Shingle Roof. A portion of the residence has a Full Basement, with the balance being a Crawl Space. The residence has all city services, and is fully landscaped.

Brian and Pei are requesting the Conditional Use Permit so they can accommodate their growing family. They are requesting a new Second Floor Addition and First Floor Remodel to the existing residence. The new Second Floor Addition shall adhere to all required building setbacks, and shall not exceed the current footprint of the ranch home. The addition shall also adhere to The Manor Subdivision maximum Livable square Footage Ratio of 35%. The proposed addition and renovation shall not impact or increase any of the existing Landscaping, or Hardscape areas. None of the existing Utilities to the property shall be

impacted by the addition or renovation. The new Second Floor Addition shall not exceed the Height requirements of the SR-4 zoning district.

The proposed addition shall adhere to all of the City of Lake Geneva proposed goals, objectives, Zoning Ordinances, and policies. The proposed addition shall not have any adverse impacts to the property, or any of the existing neighbors. The new Second Floor Addition Exterior materials shall be made up of 3 additional materials adding a harmonious integration with the current existing stone veneer. The 3 additional materials are Stucco Veneer, LP Smart Wall Shakes and Board and Batten Panel Siding.

Brian and Pei have met with Jennifer Heaton from The Manor Subdivision Architectural Review Board, which they presented the Architectural Plans and Site Plan for review. Jennifer reviewed the plans and notified all impacted neighbors or the proposed Addition to the existing residence, and has approved the proposed Addition, and has had no adverse communication from any of the impacted neighbors. They have also met with Fred Walling from the City of Lake Geneva and presented the proposed plans for input and guidance. Fred has given Brian and Pei direction and requirements for the Conditional Use Permit.

Overall we feel that the proposed Addition and Renovation for Brian and Pei shall give them the home for their growing family, and shall fit within the Manor Subdivisions requirements and guidelines. We are requesting the City of Lake Geneva to grant a Conditional Use Permit for the proposed new Addition and Renovation located at 1640 Lake Shore Drive.

If you have any questions please call me.

Adam Shore
President
Midwest Design Group Inc.

Lake Geneva Manor ARC Approval.

John Matustik

From: Jenny Heaton <jenny.derita@gmail.com>
Sent: Friday, May 1, 2020 3:19 PM
To: John Matustik
Subject: Re: Plans

Thank you for sharing the plans, John. I passed the plans on to immediate neighbors in an effort to keep them in the loop.

Please move forward, all is approved by the ARC committee.

Enjoy your weekend!

Jenny

On Mon, Apr 27, 2020 at 6:15 PM John Matustik <john@matustikbuilders.com> wrote:

Attached are the plans

Thanks!

John

John Matustik

Mobile: 847-624-7774

E-mail: john@matustikbuilders.com

Website: matustikbuilders.com

From: Jenny Heaton [mailto:jenny.derita@gmail.com]

Sent: Saturday, April 25, 2020 8:06 AM

To: John Matustik

Subject: Re: Plans

Hi John - My cell is 303-204-6715

No worries, any time.

On Sat, Apr 25, 2020 at 7:24 AM John Matustik <john@matustikbuilders.com> wrote:

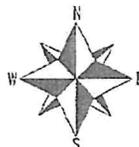
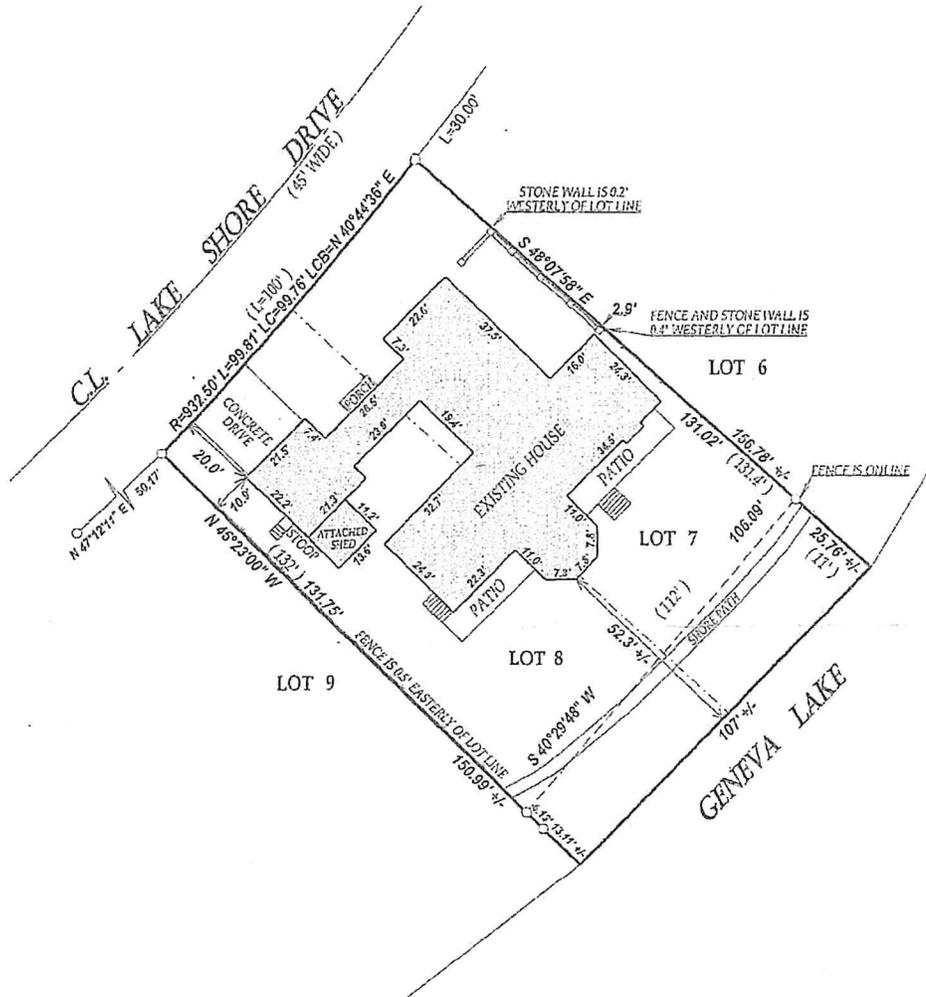
PREPARED FOR
BOB WEBSTER
KEEFE REAL ESTATE
751 GENEVA PARKWAY
LAKE GENEVA WI 53147

PLAT OF SURVEY

KROTT SURVEYING INC.

N5765 WILLOW BEND LANE
LAKE GENEVA WI. 53147
PHONE # (262)248-3697
FAX # (262)249-0639

-OF-
LOTS 7 AND 8 IN BLOCK 18 IN LAKE GENEVA MANOR TRACT NO. 17,
BEING A SUBDIVISION IN THE EAST 1/2 OF SECTION 35, TOWN 2 NORTH,
RANGE 17 EAST, WALWORTH COUNTY, WISCONSIN.



SCALE 1" = 30'



NOTE: BEARINGS ARE REFERENCED TO PREVIOUS SURVEY RECORDS

LEGEND

○ FOUND IRON PIPE

(XX) RECORDED AS

TAX ID # ZLM00039

JOB # 12-159

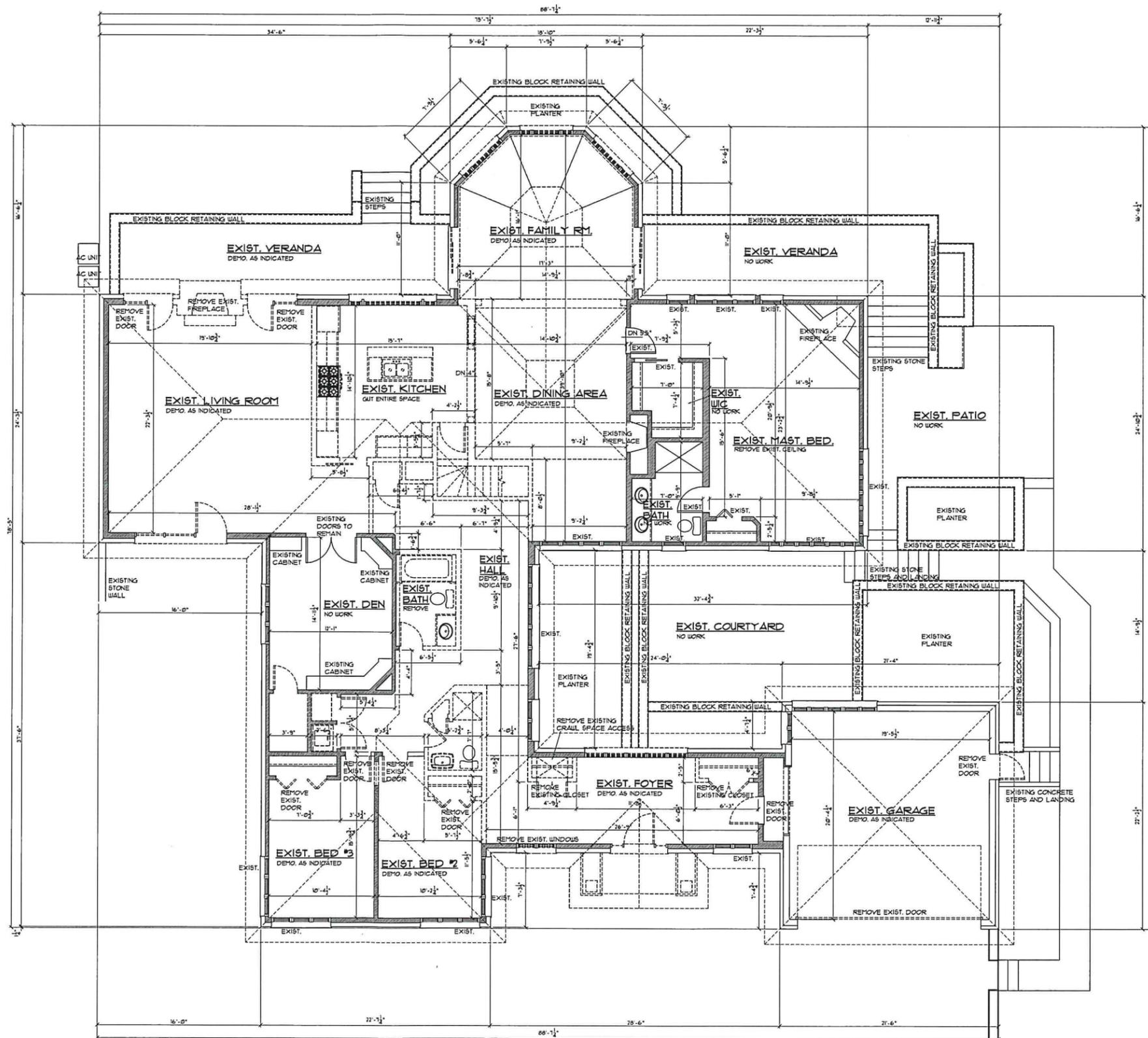
I have surveyed the above-described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all structures thereon, fences apparent easements and roadways and visible encroachments, if any.

This survey is made for the exclusive use of the present owners of the property, and also those who purchase, mortgage, or insure the title thereto within one (1) year from date hereof; and as to them I warrant the accuracy of said survey map.



DATED THIS 13th DAY OF DECEMBER 2012

JOHN KROTT S-2256
Wisconsin Registered Land Surveyor
(original if signed in red)



EXISTING LOT: 14,098 SF
 MAXIMUM LIVABLE SF CALCULATION:
 14,098 X 35% = 4934 SF.

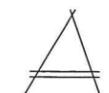
EXISTING FIRST FLOOR PLAN W/ DEMO.

SCALE: 3/16" = 1'-0"
 EXIST. FIRST FLOOR LIVEABLE: 3140 SF.
 EXISTING FINISHED BASEMENT LIVEABLE: 425 SF.
 EXISTING LIVEABLE: 3565 SF.

EXISTING 1'-11" H. CEILING

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REV#	DATE	DESCRIPTION OF REVISION
1	4-16-20	BASIC PRELIMINARY FOR REVIEW
2	4-29-20	REVISED PRELIMINARY DRAWINGS



X-NELSON.dwg

NOT FOR CONSTRUCTION

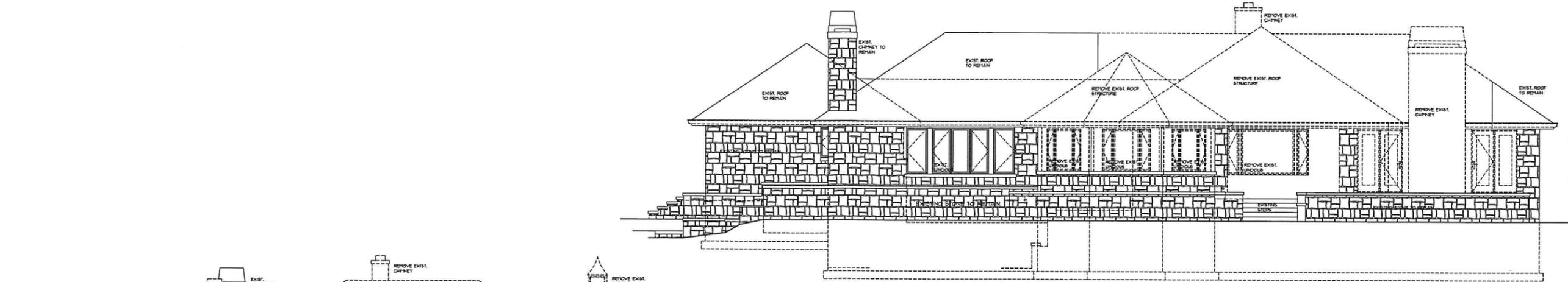


DESIGNERS
 HUNTLEY, IL 60142
 OFFICE: 224-500-3030
 EMAIL: ADAM.MDG@GMAIL.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE# 184-004261

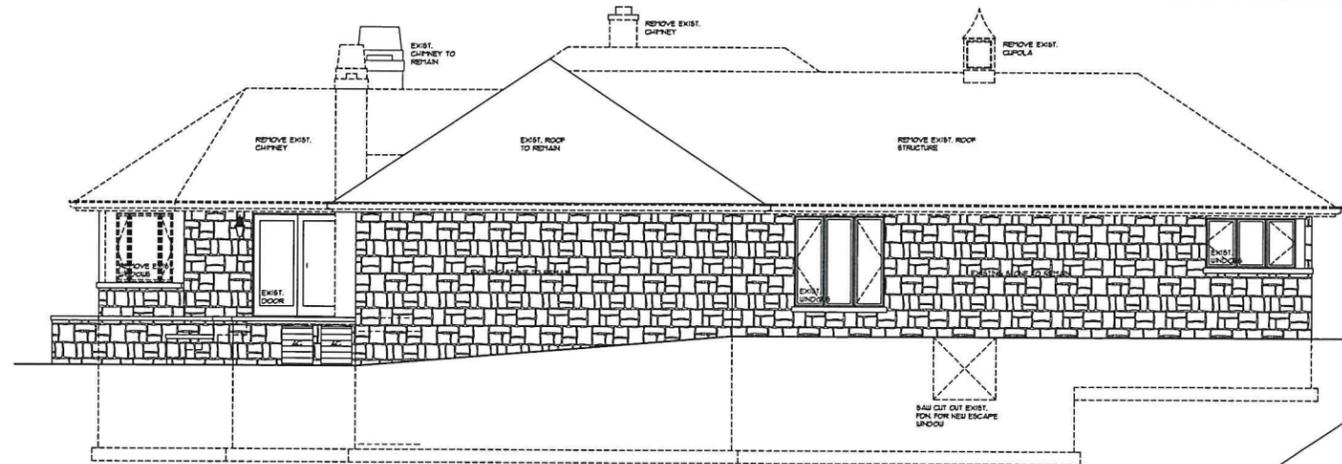
2413 West Algonquin Road
 Suite 515
 Algonquin, IL 60102
 Office: 888-840-9947
 Fax: 224-678-9566
 www.matustikbuilders.com



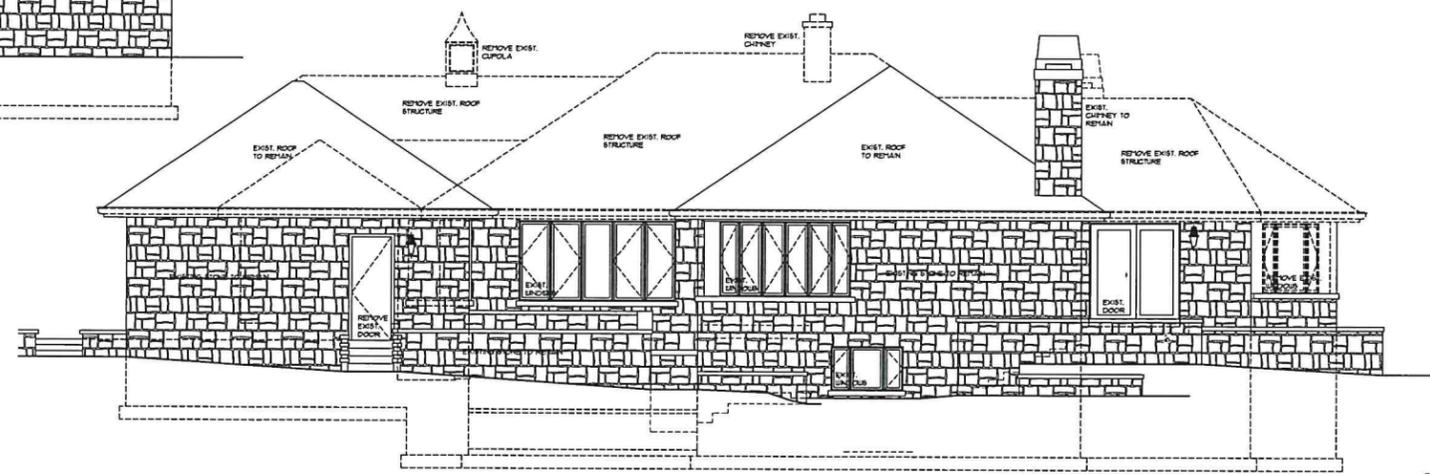
ADDITION & RENOVATION TO:
 THE NELSON RESIDENCE
 1640 LAKE SHORE DRIVE
 LAKE GENEVA, WI.



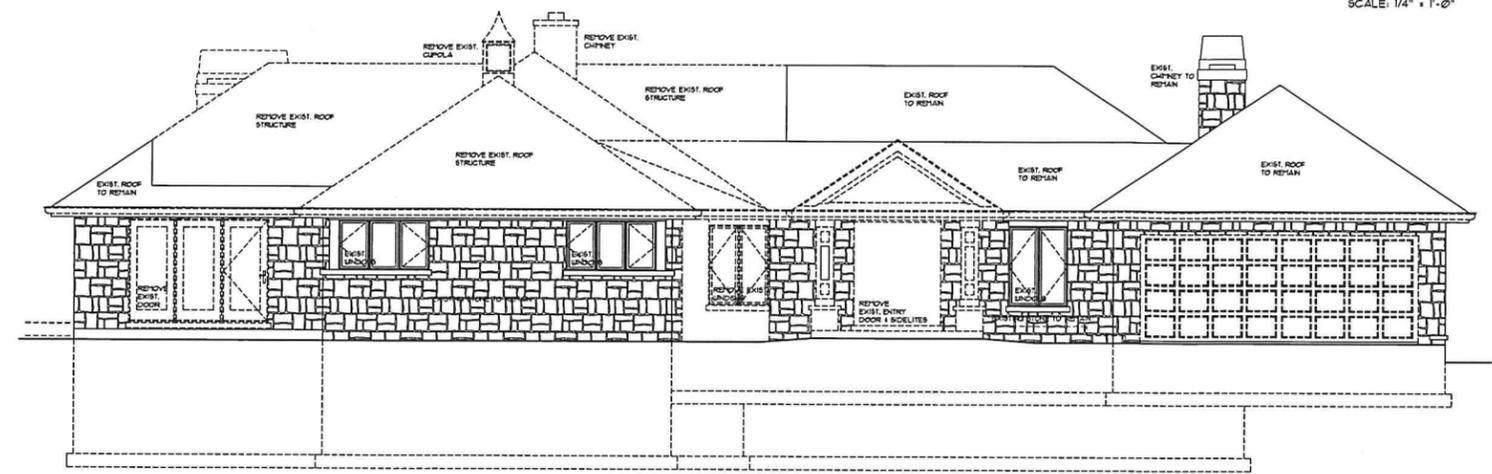
WATERSIDE ELEVATION WITH DEMO.
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION WITH DEMO.
SCALE: 3/16" = 1'-0"



RIGHT SIDE ELEVATION WITH DEMO.
SCALE: 1/4" = 1'-0"



FRONT ELEVATION WITH DEMO.
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



DESIGNERS
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EMAIL: ADAM.MDG@GMAIL.COM
PROFESSIONAL DESIGN FIRM
LICENSE# 154-004251

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Fax: 224-678-9566
www.matustikbuilders.com

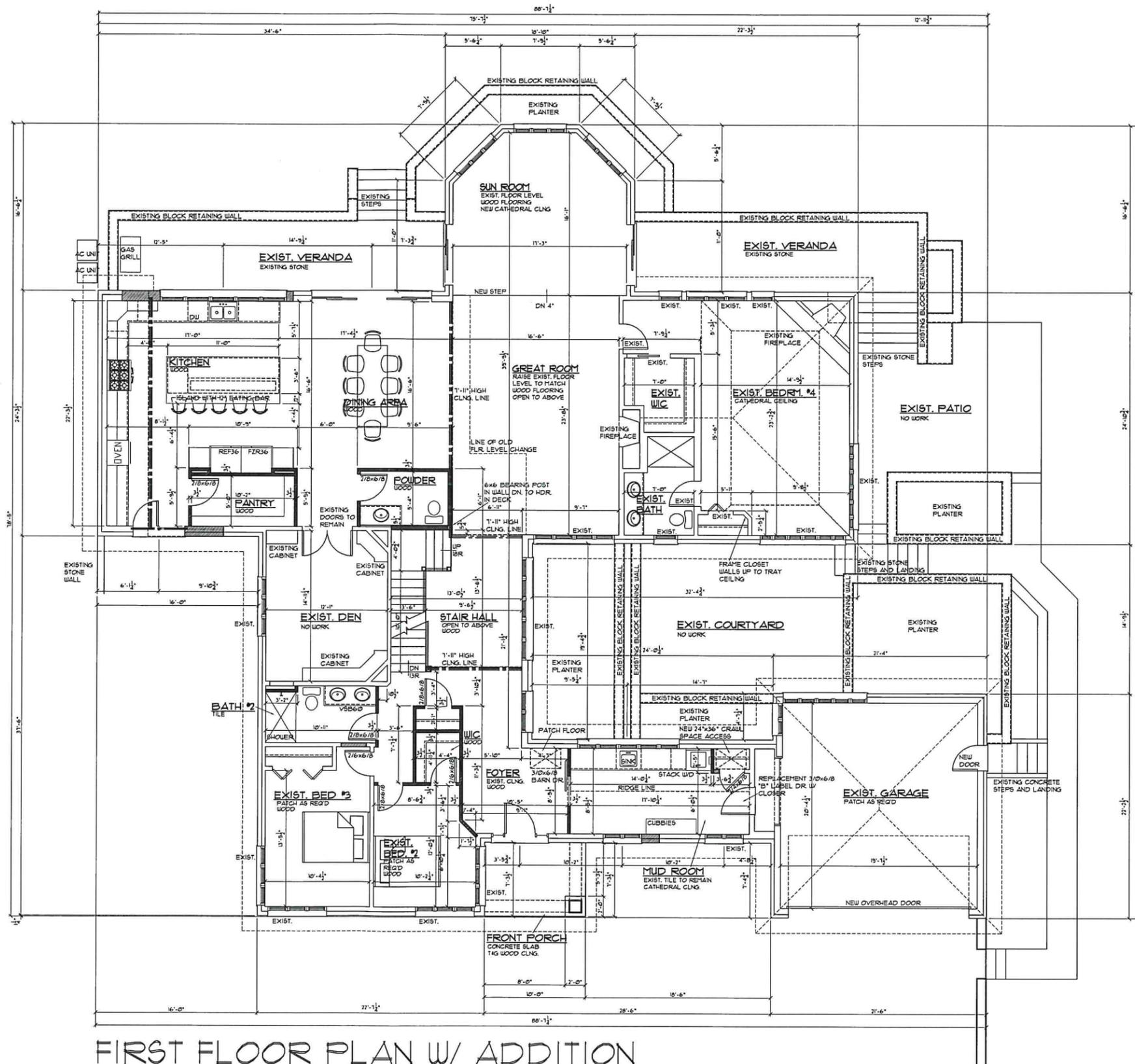


ADDITION & RENOVATION TO:
THE NELSON RESIDENCE
1640 LAKE SHORE DRIVE
LAKE GENEVA, WI.

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DATE	REV#	DESCRIPTION OF REVISION
4-18-20	1	BASIC PRELIMINARY FOR REVIEW
4-29-20	2	REVISED PRELIMINARY DRAWINGS

A2



FIRST FLOOR PLAN W/ ADDITION

SCALE: 3/16" = 1'-0"

EXISTING 1'-11" H. CEILING

EXIST. FIRST FLOOR LIVEABLE: 3140 SF.
 EXISTING FINISHED BASEMENT LIVEABLE: 425 SF.
 NEW SECOND FLOOR ADDITION LIVEABLE: 1355 SF.
 TOTAL LIVEABLE WITH ADDITION: 4920 SF.

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NOT FOR CONSTRUCTION



DESIGNERS
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 PROFESSIONAL DESIGN FIRM
 LICENSE # 184-004261

2413 West Algonquin Road
 Suite 515
 Algonquin, IL 60102
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 Fax: 224-678-9566
 www.matustikbuilders.com

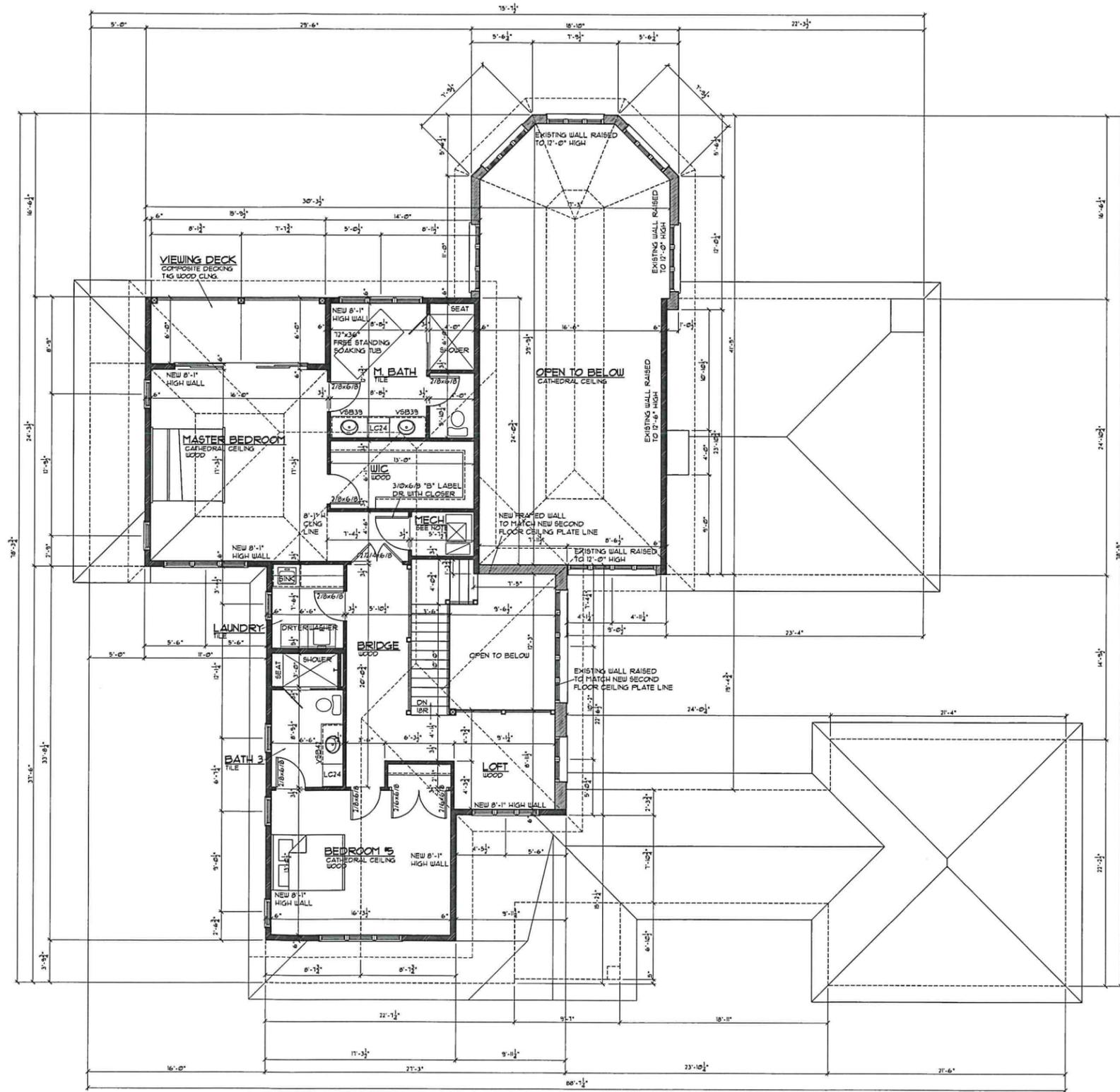


ADDITION & RENOVATION TO:
 THE NELSON RESIDENCE
 1640 LAKE SHORE DRIVE
 LAKE GENEVA, WI.

DATE	REV#	DESCRIPTION OF REVISION
4-10-20	1	BASIC PRELIMINARY FOR REVIEW
4-29-20	2	REVISED PRELIMINARY DRAWINGS



X-NELSON.dwg



NEW SECOND FLOOR PLAN
 SCALE: 3/16" = 1'-0"
 8'-1" H. CEILING

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DATE	REV#	DESCRIPTION OF REVISION
4-10-20	1	BASIC PRELIMINARY FOR REVIEW
4-29-20	2	REVISED PRELIMINARY DRAWINGS

B2

X-NELSON.dwg

NOT FOR CONSTRUCTION

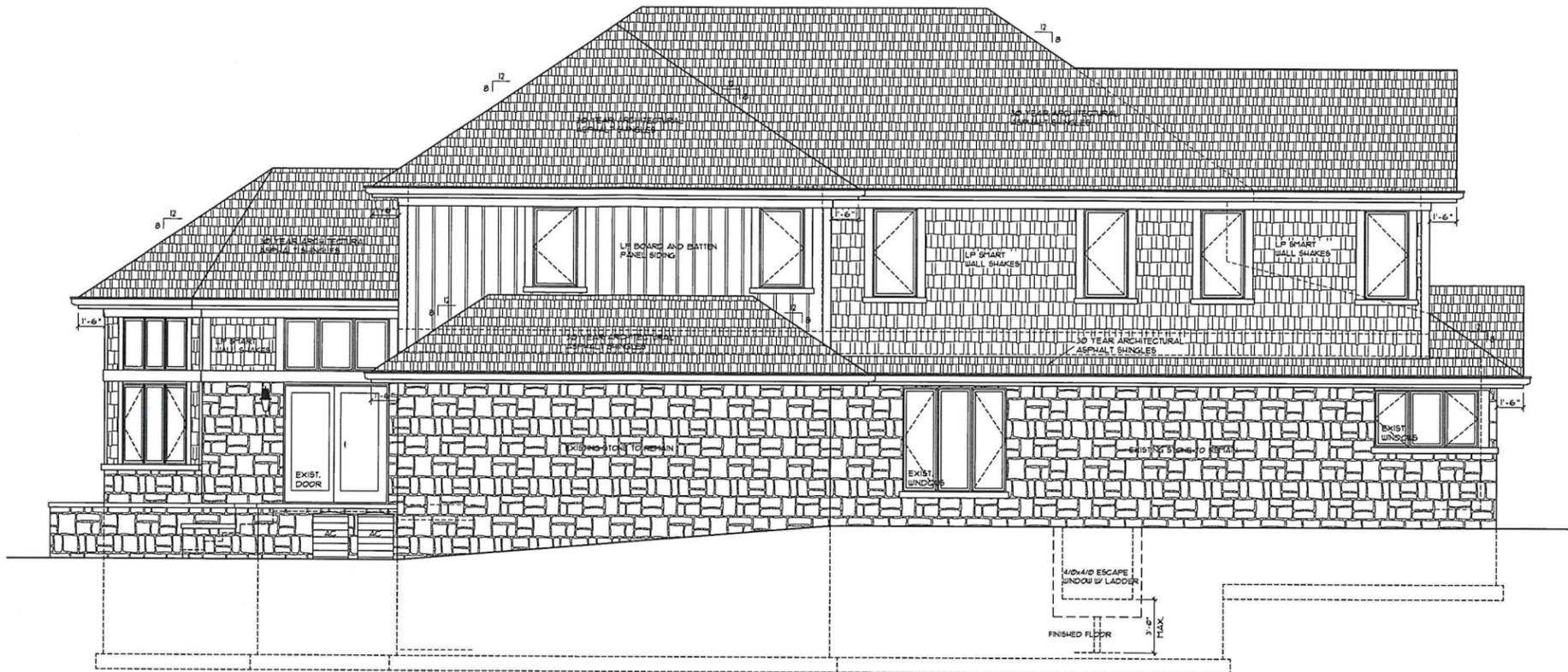


DESIGNERS
 HUNTLEY, IL 60142
 OFFICE: 224-900-3030
 EMAIL: ADAM.MDG@GMAIL.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE# 184-004261

2413 West Algonquin Road
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 Fax: 224-678-9566
 www.matustikbuilders.com



ADDITION & RENOVATION TO:
THE NELSON RESIDENCE
 1640 LAKE SHORE DRIVE
 LAKE GENEVA, WI.



LEFT SIDE ELEVATION WITH ADDITION
SCALE: 1/4" = 1'-0"



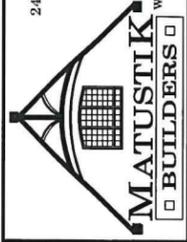
FRONT ELEVATION WITH ADDITION
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



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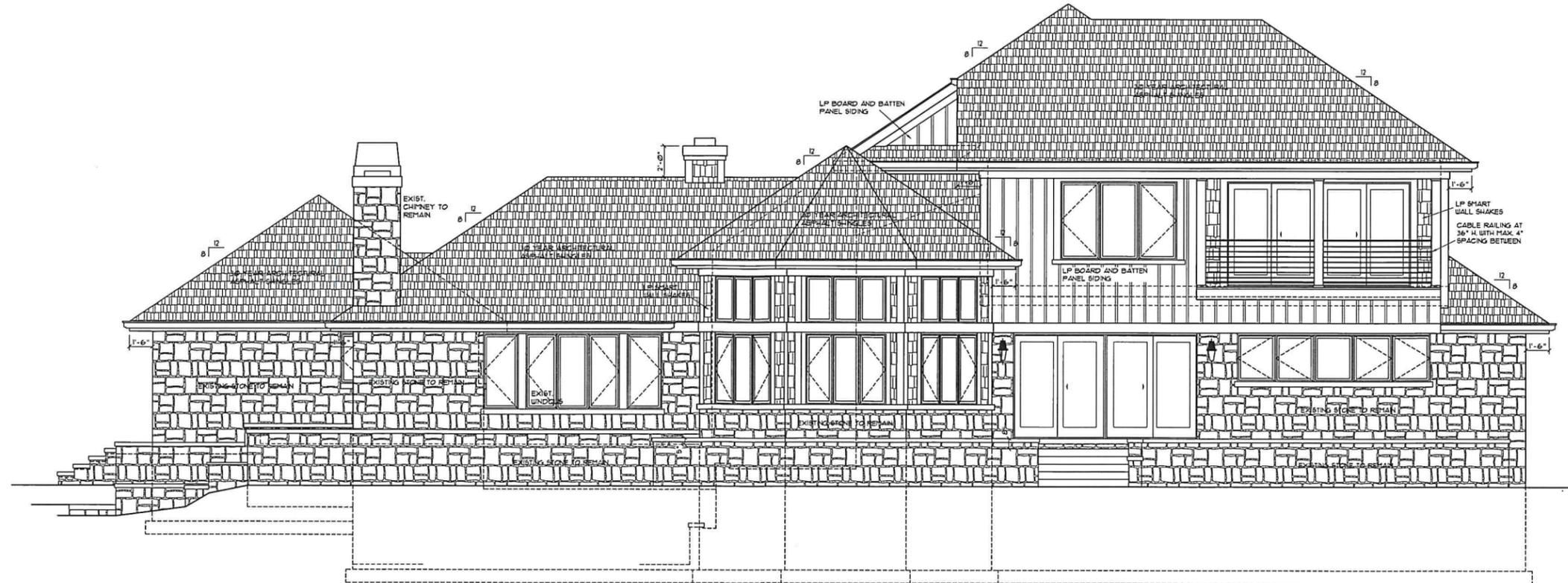
ADDITION & RENOVATION TO:
THE NELSON RESIDENCE
1640 LAKE SHORE DRIVE
LAKE GENEVA, WI.

DATE	REV#	DESCRIPTION OF REVISION
4-19-20	1	BASIC PRELIMINARY FOR REVIEW
4-29-20	2	REVISED PRELIMINARY DRAWINGS

B3



RIGHT SIDE ELEVATION WITH ADDITION
SCALE: 1/4" = 1'-0"



WATERSIDE ELEVATION WITH ADDITION
SCALE: 1/4" = 1'-0"

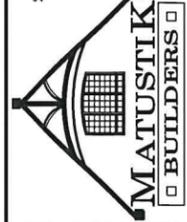
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ADDITION & RENOVATION TO:
THE NELSON RESIDENCE
1640 LAKE SHORE DRIVE
LAKE GENEVA, WI.

DATE	REV	DESCRIPTION OF REVISION
4-18-20	1	BASIC PRELIMINARY FOR REVIEW
4-29-20	2	REVISED PRELIMINARY DRAWINGS

B4

X-NELSON.dwg

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 15, 2020

Agenda Item: 9

Applicant:

Leigh Ann Myers
d.b.a The Candle Mercantile LLC.
420 S. Lake Shore Dr.
Lake Geneva

Request: Conditional Use Permit

Outdoor Commercial Entertainment
870 W. Main St.
Central Business (CB)
Tax Key No. ZOP00337

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) that would allow for the consideration of Outdoor Commercial Entertainment land use on the site for the outdoor patio service of drinks.

Project Details from CUP Submittal

The proposed project submittal meets or exceeds all requirements of the Zoning Ordinance.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
- a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance,

and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

- c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

- e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE
City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):
870 W MAIN ST ZON 00337 ZON 00338 legal description Attached.

Name and Address of Current Owner:
Key INVESTMENT Group (Richard Kehoe)
PO Box 928 Lake Forest, IL 60045

Telephone No. with area code & Email of Current Owner: _____
847-642-1677 rekehoe@outlook.com

Name and Address of Applicant:
The Candle Mercantile, LLC
870 W Main St. Lake Geneva, WI 53147

Telephone No. with area code & Email of Applicant: _____
704-649-7331 info@thecandlemercantile.com

Proposed Conditional Use: We would like to add outdoor seating
to our front patio to serve drinks (beer, wine, soda).

Zoning District in which land is located: Central business

Names and Addresses of architect, professional engineer and contractor of project:
N/A

Short statement describing activities to take place on site:
Outdoor customer seating with drink service.

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

5/3/2020
Date


Signature of Applicant

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL. (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓
___ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: 5/5 by: JA

↓

___ (a) A map of the proposed conditional use:

- ___ Showing all lands for which the conditional use is proposed;
- ___ Showing all other lands within 300 feet of the boundaries of the subject property;
- ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft.
- ___ All lot dimensions of the subject property provided;
- ___ Graphic scale and north arrow provided.

___ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:

- (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- (e) Written justification for the proposed conditional use:
- Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

- How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?
out door seating will allow people to enjoy a beverage and enjoy the outdoors of Lake Geneva.
- How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?
We are a pub & bar that serves beer, wine, soda. People often sit outside to enjoy their beverage and Lake Geneva.
- Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?
No - we have a Red brick patio in front of our store that currently is not used.
- How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?
Using the patio with tables will utilize available space while bringing traffic to one end of main st.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

yes

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

yes

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blue line or black line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

- ___ Pre-submittal staff meeting scheduled: *email*
- Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- Follow-up pre-submittal staff meetings scheduled for:
- ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Application form filed with Zoning Administrator: Date: _____ by: _____
- ___ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____
- ___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator) Date: _____ by: _____
 ↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: _____ by: _____
 ↓

- ___ (a) A written description of the intended use describing in reasonable detail the:
 - ___ Existing zoning district(s) (and proposed zoning district(s) if different);
 - ___ Land use plan map designation(s);
 - ___ Current land uses present on the subject property;
 - ___ Proposed land uses for the subject property (per Section 98-206);
 - ___ Projected number of residents, employees, and daily customers;
 - ___ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
 - ___ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

- ___ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- ___ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- ___ Exterior building and fencing materials (Sections 98-718 and 98-720);
- ___ Possible future expansion and related implications for points above;
- ___ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

___ ~~X~~ (b) A **Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

___ ___ (c) A **Property Site Plan drawing which includes:**

- ___ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- ___ The date of the original plan and the latest date of revision to the plan;
- ___ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- ___ A reduction of the drawing at 11" x 17";
- ___ A legal description of the subject property;
- ___ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- ___ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- ___ All required building setback lines;
- ___ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- ___ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- ___ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- ___ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- ___ The location of all outdoor storage areas and the design of all screening devices;
- ___ The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;
- ___ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- ___ All engineering requirements for utilities, site designs, etc;
- ___ The location and type of any permanently protected green space areas;
- ___ The location of existing and proposed drainage facilities for storm water;

___ In the legend, data for the subject property on:

- ___ Lot Area;
- ___ Floor Area;
- ___ Floor Area Ratio (b/a);
- ___ Impervious Surface Area;
- ___ Impervious Surface Ratio (d/a);
- ___ Building Height.

___ ___ (d) **A Detailed Landscaping Plan of the subject property:**

- ___ Scale same as main plan (> or equal to 1" equals 100')
- ___ Map reduction at 11" x 17"
- ___ Showing the location of all required buffer yard and landscaping areas
- ___ Showing existing and proposed Landscape Point fencing
- ___ Showing berm options for meeting said requirements
- ___ Demonstrating complete compliance with the requirements of Article VI
- ___ Providing individual plant locations and species, fencing types and heights, and berm heights;

___ ___ (e) **A Grading and Erosion Control Plan:**

- ___ Same scale as the main plan (> or equal to 1" equals 100')
- ___ Map reduction at 11" x 17"
- ___ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

___ ___ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**

- ___ Showing finished exterior treatment;
- ___ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- ___ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III.FINAL APPLICATION PACKET INFORMATION

___ **Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator:** Date: _____ by: _____

___ **Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:** Date: _____ by: _____

___ **A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline.** Date: _____ by: _____

Development Review Committee (DRC) Application

Complete as much detailed information as possible to allow for a comprehensive departmental review prior to a Development Review Committee meeting. This application must be returned to the Building Inspector, with all conceptual plans, designs and other information prior to the scheduling a DRC meeting.

Applicant Information

Property Address 870 W Main St Lake Geneva, WI 53147
Applicant name Leigh Ann Myers - The Candle Mercantile, LLC
Applicant email info@thecandlemercantile.com Phone Number 704-649-7381

Architect/Contractor/Designer Name N/A
Architect/Contractor/Designer Email _____ Phone Number _____

Type of Construction: New _____ Addition _____ Remodel _____ No construction
Type of Development: Single-family _____ Multi-family _____ Commercial X Industrial _____
Type of Business Retail: Bar serving beer/wine

Engineering

Site Plans should include the following: Project title and owner's/developer's name and address noted, architect's and/or engineer's name and address noted, property boundaries and dimensions, abutting property zoning classifications, general description of building materials, façade and roof detail, setback lines indicated, easements for access, if any, 100-year floodplain identification, existing and proposed topography shown at a contour interval of one foot, indicating proposed grade and location of improvements, signage and outdoor lighting, number of parking spaces provided, type, size and location of all structures with all building dimensions shown, location of existing and general location of proposed sanitary sewers, storm sewers, water-mains, and any proposed stormwater management facilities, location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening, location of pedestrian sidewalks and walkways, graphic outline of any development staging that is planned, driveway locations and sizes, handicap accessibility, environmental concerns (odor, smoke, noise, graphic scale and north arrow.

- Storm water management provisions provided? YES / NO
 - As-built/certification notification
- Erosion control plan provided? YES / NO
- Wetlands, floodplains, environmental corridors, groundwater Identified. YES / NO
- Utility Plans Provided
 - Watermain
 - Sanitary Sewer
 - Storm Water
- Is a Land Division required? YES / NO
- Access points and dimensions shown? YES / NO
 - WISDOT Right-of-way?
 - County Right-of-way?
- Estimated Traffic impacts _____
 - Traffic Study Required YES / NO
 - Traffic Control Plan Required YES / NO
 - Will construction affect street parking or intersections? YES / NO

- Paving Materials, Typical Sections? YES / NO
- WDNR Notice of Intent required? (Land disturbance more than 1 acre)? YES / NO
- Watermain extension required? YES / NO
- Sanitary sewer extension required? YES / NO
- SEWRPC Service Area Amendment needed? YES / NO
- Is a Chapter 30 Permit (wetland/waterway) required? YES / NO
- Proposed building/expansion dimensions _____
- Will there be signage? YES / NO type (mounted, freestanding) _____
- Exterior lighting plans? YES / NO
- What kind of noise or level of noise will the business have? Small group, having conversations
- Detailed property Site Plan? YES / NO Date of Plan: _____
- Green Space Calculations (Existing vs. Proposed) YES / NO
- Are landscape plans provided? YES / NO
- Is a Land Division required? YES / NO

Water/Sewer Utilities

If an existing structure please circle the following:

- Will existing sewer & water connections be used? YES / NO
- Will your project require the installation of a grease interceptor? YES / NO

If the development is Commercial or Industrial, please provide the following:

- Water service size requirement N/A
- Estimated daily water usage in gallons per day N/A
- Estimated maximum water flow in gallons per minute N/A
- Number of bathrooms 1 (inside)
- Brief description of process (if Industrial) _____

If the development is a multi-family dwelling, please provide the following:

- Number of units _____
- Number of bedrooms in each unit _____
- Water service size requirement _____

Exhibit A

Premises Description

Commonly Known As: 870 Main Street, Lake Geneva, Walworth County, Wisconsin

The subject Leased Space is on the following:

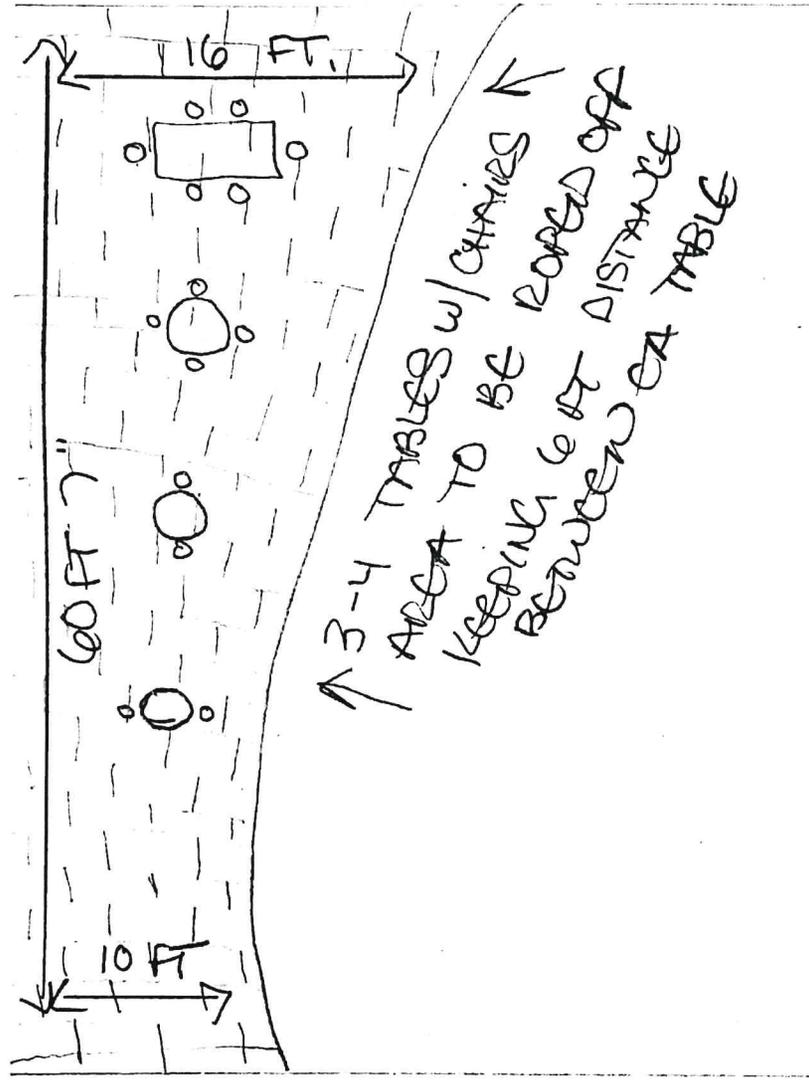
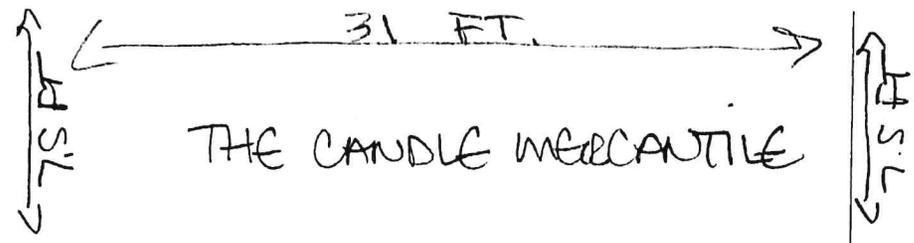
Parcel Numbers, ZOP 00337, and ZOP 00338 The Legal Description is as follows:

The N 2/3 of Lot 6 and the N 2/3 of the W 1/3 of Lot 5, all in Block 31 in the City of Lake Geneva (formerly Village of Geneva) in the County of Walworth and State of Wisconsin, according to the plat of said Village of record in the office of the Register of Deeds in and for Walworth County aforesaid.

Ben *J*
gpp

THE CANDLE MERCHANT

C PROPERTIES



SHADED
PARKING LOT

SIDEWALK

WRIGHTLY DR.

SIDEWALK

MAIN STREET

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 15, 2020

Agenda Item: 10

Applicant:

John Sherman Lindsey
d.b.a Wisconsin Street LLC.
W3741 Fir Ct.
Lake Geneva

Request: Conditional Use Permit

Outdoor Display
529 W. Main St.
Central Business (CB)
Tax Key No. ZOP00301

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) that would allow for the consideration Outdoor Display land use. With this request the applicant would like to allow outdoor display of rental classic cars and scooters.

Project Details from CUP Submittal

The proposed project submittal meets or exceeds all requirements of the Zoning Ordinance.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
 - a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

- b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

- e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

529 W MAIN ST. LAKE GENEVA, WI

(SEE ATTACHMENT)

Name and Address of Current Owner:

WISCONSIN STREET LLC - KEN AND MICHELLE SHIELDS

728 WISCONSIN ST. LAKE GENEVA, WI 53147

Telephone No. with area code & Email of Current Owner:

(262) 248-0861 KSHIELDS@ALLSTATE.COM

Name and Address of Applicant:

JOHN SHERMAN LINDSEY

W3741 FIR CT. LAKE GENEVA, WI 53147

Telephone No. with area code & Email of Applicant:

(224) 388-2401 SHERMLINDSEY@GMAIL.COM

Proposed Conditional Use: TO DISPLAY 6-8 CLASSIC CARS ON THE LEFT HAND SIDE

FACING THE BUILDING IN THE PARKING STALLS. ALSO DISPLAY 4-6 SCOOTERS DIRECTLY
IN FRONT OF THE BUILDING TO PROMOTE SCOOTER RENTALS.

Zoning District in which land is located: GB

Names and Addresses of architect, professional engineer and contractor of project:

NONE

Short statement describing activities to take place on site:

SALES OF SCOOTERS AND SCOOTER ACCESSORIES, ALSO TO BE USED FOR PROMOTIONAL
PURPOSES OF SCOOTER RENTALS AND CLASSIC CAR RENTALS HOWEVER TRANSACTIONS FOR
THESE RENTALS WILL NOT TAKE PLACE ON THE PREMISES.

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

4/16/20

Date

Signature of Applicant

- (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- (e) Written justification for the proposed conditional use:
 - Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

NO DEVELOPEMENT

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

(SEE ATTACHMENT)

2. How is the proposed conditional use, in its specific location, in harmony with the purposed, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

(SEE ATTACHMENT)

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

WE FEEL IT DOES NOT IN ANY WAY.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

THIS WILL NOT AFFECT ANYTHING DIFFERENTLY IN ANY WAY AND WILL KEEP THE CONSISTENCY OF THIS PROPERTY AND THE CITY.

Description of Proposed Use of Property 529 W Main St. Lake Geneva, WI

The outdoor usage of the property 529 W Main St. Lake Geneva will be as follows. The purpose is to display 4-6 Classic Cars for intention of renting. These will be a rotation of clean classic cars that will be available for Lake Geneva tourists to rent. They will be available by the day or week for special events such as weddings or just casual rides around Geneva Lake. Cars will be lined up on the left side of the building with plenty of room for the through driveway for cars to exit the lot. The intention is to cover these cars at night with high-end uniformed car covers. Cars will then be returned to the same location where one of our staff members will park the car.

The second usage for for this is to display scooters for promotional purposes. We intend to display 4-6 scooters outside directly in front of the building angled uniformly. These will be as close to the building's windows as possible and will never interfere with the sidewalk. They will be brought back into the building every night and will never be left out overnight for any circumstances and only displayed during business hours.

Transactions for both the Classic Cars and Scooter Rentals will not take place at this location. The Classic Cars Rentals is done entirely online and the customer simply comes there to take possession of the car. The Scooter Rentals are similar however the customer must take delivery of the scooter at the Grand Geneva where our other location is. The display of these outside will just be for promotional purposes.

All regular sales and business will be done inside only.

**EXHIBIT A
LEGAL DESCRIPTION**

All that part of the Northeast ¼ of Section 36, T2N, R17E, City of Lake Geneva, Walworth County, Wisconsin, bounded and described as follows: Begin at an iron stake on the North line of Main Street, 250 feet West of an iron stake at the intersection of said North line with the Southwest line of the Chicago & Northwestern Railway Company's right of way; thence North 00° 55' West and at right angles to the North line of Main Street, 114.2 feet to an iron stake on the Southeast edge of the Tail Race to the Electric Light Plant; thence North 46°55' East to the center of the main channel of White River, or outlet of Geneva Lake; thence Southerly along the center of the main channel of said river to the North line of Main Street; thence South 89° 5' West 90 feet; more or less, to the place of beginning, in the City of Lake Geneva, Walworth County, Wisconsin. The stake at the point of beginning is a 1" iron stake 7' long, 93' West from the East side of a 6" box elder on the East side of the river, 20' West of the Typewriter Building and 75.7 feet South of an iron stake set on the first described line. The iron stake at the edge of tail race is 8 ½' long; and is on line with the inner face of the South abutment to R.R. Culvert and a notch in the concrete landing at the waste gate to Electric Light Plant, also marked by an iron stake.

TOGETHER WITH all that part of Main Street, now vacated, as set forth in Ordinance No. 121 adopted by the Common Council of the City of Lake Geneva, dated April 2, 1926 and bounded and described as follows: Commencing at a point in the North line of said Main Street, two hundred fifty feet West of the Southwesterly line of the right of way of the Chicago and Northwestern Railway Company, run thence South thirty four feet and four inches, to the North line of the concrete sidewalk as now constructed; thence East in the North line of said sidewalk a distance of ninety feet, more or less, to the center of the outlet of Geneva Lake, thence North in the center line of said outlet to the North line of said Main Street; thence West in said North line to the place of commencement.

Such real estate is also described in deed dated February 26, 1999 and recorded on March 5, 1999 in Volume 661, page 9976 in the Walworth County Register of Deeds as follows:

Begin at an iron stake on the North line of Main Street, City of Lake Geneva, Two Hundred and Fifty feet (250) West of an iron stake at the intersection of said North line with the Southwest line of the Chicago & Northwestern Railway Company's right of way; thence North fifty-five (55) minutes West and at right angles to the North line of Main Street, one-hundred fourteen and two tenths (114.2) feet to an iron stake on the Southeast edge of the Tail Race to the Electric Light Plant; thence north forty-six degrees fifty-five minutes East to the center of the main channel of the White River, or Outlet of Geneva Lake; thence Southerly along the main channel of said river to the North line of Main Street; thence South eighty-nine degrees five minutes West, ninety feet more or less to the place of beginning; the stake at the point of beginning is a 1" iron stake 7' long, 93' west from the east side of a six inch box elder on the east side of the river, 20' west of the Typewriter Building, and 75.7' south of an iron stake set on the first described line. The iron stake at the edge of Tail Race is 8 ½' long, and is on line with the inner face of the south abutment to R. R. culvert and a notch in the concrete landing at the West gate to Electric Light Plant also marked by an iron stake. Together with a parcel commencing at a point in the North line of Main Street Two Hundred Fifty (250) feet West of the Southwesterly line of the right of way of the Chicago & Northwestern Railway Company, run thence South thirty-four (34) feet four (4) inches, to a point which is the North line of the concrete sidewalk; thence East in the North line of said sidewalk a distance of ninety (90) feet, more or less, to the center of the outlet of Geneva Lake, thence North in the center line of said outlet to the North line of Main Street, thence West in said North line to the place of commencement; Said parcel being vacated as a portion of Main Street by the City of Lake Geneva April 2, 1926.

(Signatures may be authenticated or acknowledged. Both are not necessary.)

NOTE: THIS IS A STANDARD FORM. ANY MODIFICATIONS TO THIS FORM SHOULD BE CLEARLY IDENTIFIED.

WARRANTY DEED

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FORM NO. 1-2003

*Type name below signatures.

ATG FORM 4147-WI
(10/08)

FOR USE IN: WI
Page 2 of 2

LAKE GENEVA
MUSEUM

4-6 CLASSIC CAR DISPLAY
(LEFT HAND SIDE OF BUILDING IN PARKING STALLS)

THERE ARE 10 OTHER PARKING SPOTS
BEYOND THE CLASSIC CAR PARKING
ON THIS PREMISES FOR CUSTOMER
AND EMPLOYEE PARKING

OLD TRAIN TRACKS

N

20 FEET

ADDITIONAL ONSITE
PARKING WILL REPLACE
THE CLASSIC CAR THAT IS RENTED

4-6 MOPEDS/SCOOTERS
(LOCATED DIRECTLY IN FRONT OF BUILDING)

529 W
MAIN ST
522 SF

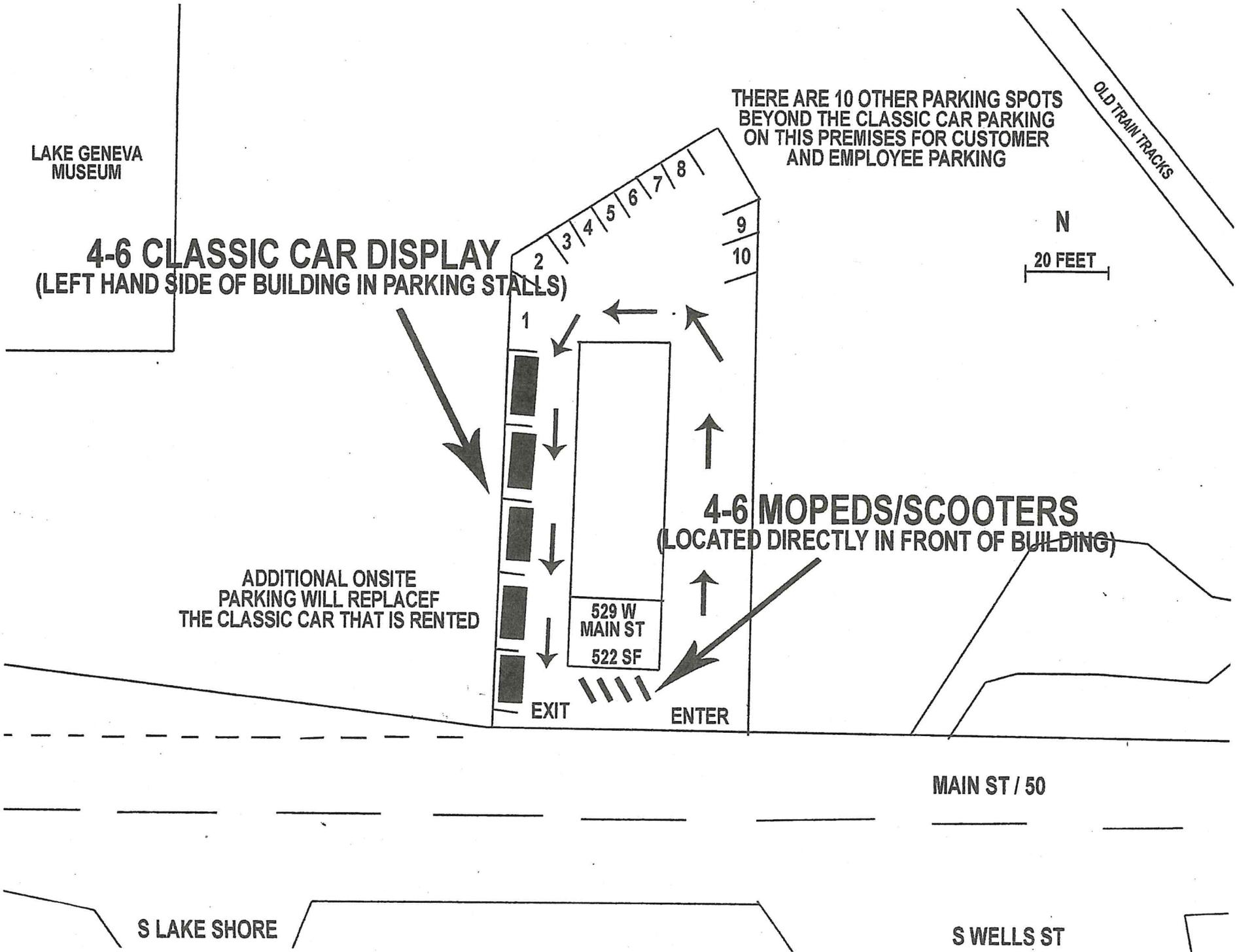
EXIT

ENTER

MAIN ST / 50

S LAKE SHORE

S WELLS ST



THERE ARE 10 OTHER PARKING SPOTS
BEYOND THE CLASSIC CAR PARKING
ON THIS PREMISES FOR CUSTOMER
PARKING AND EMPLOYEE PARKING



20 FEET

4-6 CLASSIC CAR DISPLAY
(LEFT HAND SIDE OF BUILDING IN PARKING STALLS)

4-6 MOPEDS/SCOOTERS
(LOCATED DIRECTLY IN FRONT OF BUILDING)

ADDITIONAL
ONSITE PARKING WILL REPLACE
THE VEHICLE THAT IS RENTED



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