

**CITY OF LAKE GENEVA
626 GENEVA STREET
LAKE GENEVA, WI**

**PLAN COMMISSION MEETING
MONDAY APRIL 20, 2020 - 6:00 PM
COUNCIL CHAMBERS, CITY HALL**

THE CITY OF LAKE GENEVA IS HOLDING ALL MEETINGS VIRTUALLY TO HELP PROTECT OUR COMMUNITY FROM THE CORONAVIRUS (COVID-19) PANDEMIC. YOU CAN CALL-IN OR WATCH THE MEETING IN SEVERAL WAYS:

1. Livestream at the City of Lake Geneva Vimeo Channel found here www.vimeo.com/lakegeneva
2. Television: Watch live broadcast of the meeting on Spectrum Cable Channel 25
3. Listen to audio via phone: (602) 333-2017 (Long distance rates may apply) (888) 204-5987 (Toll Free)
Access Code: 9746153
4. You can provide public comment on agenda items by emailing your comments to the City Clerk at cityclerk@cityoflakegeneva.com or you may deliver your written comments to the City of Lake Geneva City Hall, 626 Geneva Street, Lake Geneva, WI 53147. All written comments must be provided to the City Clerk by 5:00 P.M. on the date of the meeting. All written comments will be read aloud during the agenda item when public comments are allowed during the meeting.
5. REGISTER BUT DO NOT SPEAK: You can register your support or opposition to an agenda item without speaking by emailing the Building and Zoning Clerk at bzclerk@cityoflakegeneva.com by 5:00 PM on the date of the meeting. Support or opposition to an agenda item will be read during the public hearing.
6. REGISTER AND SPEAK: If you wish to speak at the virtual meeting on an agenda item, you must register by sending an email to bzclerk@cityoflakegeneva.com and providing the agenda item you wish to speak on, your name, and telephone number where you can be reached during the meeting. You will be contacted by phone to provide your comments when the public hearing on the agenda item you wish to speak on is heard.

If you are disabled and need assistance, please call (262) 248-3673 before this meeting to make arrangements for reasonable accommodation.

CITY HALL WILL NOT BE OPEN TO THE PUBLIC DURING THE MEETING. YOU CAN OBSERVE OR LISTEN TO THE MEETING VIA THE ABOVE LISTED COMMUNICATIONS.

Agenda

1. Meeting called to order by Tom Hartz.
2. Roll Call.
3. Approve Minutes of the March 16, 2020 Plan Commission meeting as distributed.

4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.
5. Acknowledgment of Correspondence.
6. Downtown Design Review:
 - a. Application by Brad Gramly W7560 Ethelyn Dr., Delavan, WI 53115, request to install awnings on the front of the building located at 152 Center St, in the Central Business (CB) zoning district, Tax Key No. ZOP00308.
 - b. Application by Ron & Sharon Smith, 2021 Old Mill Ln, McHenry, IL 66050, requesting to change the exterior façade to the storefront of the property located at 729 W. Main St, in the Central Business (CB) zoning district, Tax Key No. ZOP00275.
7. Public Hearing and Recommendation of a “Limited” Conditional Use Permit filed by Cassandra Kordecki & Michael Strong d.b.a. Lake Geneva Home Rental LLC, W3437 Royal Glen Ct., Lake Geneva, for a request to allow Commercial Indoor Lodging land use located at 715 North St, within the Single Family – 4 (SR-4) zoning district, Tax Key No. ZF00054.
8. Public Hearing and Recommendation of a “Limited” Conditional Use Permit filed by Timothy Reuss, 4262 Dorchester Ave., Gurnee, IL 60031, for a request to allow Commercial Indoor Lodging land use located at 940 Marshall St, within the General Business (GB) zoning district, Tax Key No. ZRA00030.
9. Public Hearing and Recommendation of a Conditional Use Permit filed by Ann Esarco, 1051 Mobile St., Lake Geneva, for a request to utilize the Single Family – 4 setbacks for a New Single Family Home in the Estate Residential -1 land use located at 960 S. Lake Shore Dr., Tax Key No. ZSY00027.
10. Public Hearing and Recommendation of a Conditional Use Permit filed by Bruce & Sarah Gold, 2910 Kingston Dr., Buffalo Grove, IL 60089, for a request to utilize the Single Family – 4 setbacks for an addition to the single family home in the Estate Residential -1 land use located at 10 Hillside Dr., Tax Key No. ZLM00033.
11. Public Hearing and Recommendation – (Applicant is requesting this item be continued to a later date) - on an application for a Precise Implementation Plan (PIP) filed by Omega Homes, 210 O’Connor Dr. Elkhorn WI. 53121, requesting a Planned Development to build 58 single family homes in 3 phases. The property is 17.26 acres located at LaSalle St and Edgewood Dr., in the Multi-family Residential - 8 (RM-8) zoning district, Tax Key No. ZA424700001.
12. Adjournment.

QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT

Requests from persons with disabilities, who need assistance in order to participate in this meeting, should be made to the City Clerk's office, in order for appropriate Accommodations.

Posted 4/15/2020

**PLAN COMMISSION MEETING
MONDAY, MARCH 16, 2020 – 6:00 PM
COUNCIL CHAMBERS, CITY HALL**

Mayor Hartz called the meeting to order 6:00 p.m.

Roll Call. Present: Mayor Hartz, Alderman Doug Skates, John Gibbs, Brett Stanczak. Absent (Excused) William Catlin, Ann Esarco, Michael Krajovic, Building and Zoning Administrator Walling. Also Present: City Attorney Draper, City Planner Slavney via telephone, City Administrator Nord, City Engineer - Naomi Rauch, Building & Zoning Administrative Assistant Follensbee.

Approve Minutes of the February 17, 2020 Plan Commission Meetings as distributed.
Skates/Gibbs motion to approve. Motion carried unanimously.

Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes.

Acknowledgement of Correspondence. None

Attorney Draper explained the modified meeting room setup due to the Covid-19 situation. A maximum of 50 people are allowed in a room, but to keep safe distancing between individuals, a small amount of chairs have been provided. Draper also stated Planner Slavney is joining the meeting via telephone, since he was advised by his doctor.

Review and Recommendation of a Certified Survey Map (CSM) for Constantine Athans, 999 Snake Road & Neuman Family Trust, 4666 Lorraine Ave Dallas TX, 75209 to create a new 4 Lot CSM in the Estate Residential – 1 (ER-1) zoning classification as identified on the certified survey dated 1/10/20 Job # 1901409 for Tax Key Nos. ZWIL00001 thru ZWIL00005.

Paul Van Henkelum, surveyor from Cardinal Engineering, presented the request. Alderman Skates asked for clarification of the CSM. Henkelum said the lots lines will change to allow better access to all lots, with 2 lots along the road and 2 lots along the lake. Utilities Director Gajewski approves of the new CSM.

Hartz/ Skates motion to recommend the Certified Survey Map (CSM) to create a new 4 Lot CSM, subject to the addition of the utility easement shown on page 2 of 4 of CSM.

Roll Call: Hartz, Skates, Gibbs, Stanczak “yes.” Motion carried unanimously.

Public Hearing and Recommendation on an application for a General Development Plan (GDP) filed by Omega Homes, 210 O’Connor Dr. Elkhorn WI. 53121, requesting a Planned Development to build 58 single family homes in 3 phases. The property is 17.26 acres located at LaSalle St and Edgewood Dr., in the Multi-family Residential - 8 (RM-8) zoning district, Tax Key No. ZA424700001.

Ryan Cardinal, Cardinal Engineering, representing the applicant, resented the request. Draper asked Cardinal to go through the flexibilities. A revised narrative packet was distributed to the Plan Commission this evening which is pertinent to questions addressed in this meeting. The flexibilities can be found on page 5 of the revised narrative, which now includes a new section: Article III – Subdivisions, in the requested exemptions. Cardinal discussed the exemptions. Planner Slavney stated the Comprehensive Plan has been revised to allow SR-4 Zoning on the parcel so this zoning change is consistent with the Comprehensive Plan. Slavney believes the detail requirements for the GDP application has been met. Utility Director Gajewski stated the geographical elevation of the central portion of the development would not meet the current state code for static water pressure once services were installed. The developer is working with City Staff, including the Utility Commission to do public improvements to service 15 lots in the development by raising the water tower 30 feet and code updates. Commissioner Gibbs asked for clarifications of time considerations (phasing.) Cardinal explained their request for a longer time period regarding the phasing process. Draper stated the City cannot waive the ordinance for project timeframes but once the applications are approved, and the project moves forward, the applicant can ask the City to for an extension. Hartz inquired about the retention ponds and water run-off for the neighbors to the south. Cardinal said the 3 ponds in this project are designed to hold water and the water leaving the site will be at a

lower rate than it currently drains. Skates asked about park considerations for this subdivision. Cardinal said the green space is available to all people who walk by but the grade is very steep. Slavney said the park discussion would be a Plat - land division dialog, not a zoning matter.

Skates/Gibbs motion to close the Public Hearing. Motion carried unanimously.

Skates/Gibbs motion to recommend the General Development Plan (GDP) to build 58 single family homes in 3 phases and include all staff recommendations and fact finding in the affirmative and requested exemptions: front, side & rear setbacks, lot sizes, 3 private streets as designated on proposal, lot lines on private streets which do not border public streets and lot line which do not meet our dimensions.

Roll Call: Hartz, Skates, Gibbs, Stanczak “yes.” Motion carried unanimously.

Public Hearing and Recommendation on an application for a General Development Plan (GDP) filed by the property located at 302 Townline Rd. for a possible Planned Development that would allow 16 residential dwellings on one tax parcel. Applicants Michael Hanley & John Engerman, - DBA Clear Sky LLC. 302 Townline Rd., located in the Planned Industrial (PI) zoning district, Tax Key No. ZYUP00144.

Mike Hanley & John Engerman presented the request. Engerman said the number of homes in this project has been reduced to 16 per suggestion by the Plan Commission. A video of the site was shown depicting the homes, parking & project details. Kapur Engineer, Rauch, shared the preliminary review of the storm water management for the site. Gibbs asked about guest parking. Hanley explained the quest parking locations. Hartz asked if the turn-around could be moved away from the bike path and closer to the property on the east side. Cardinal said it will be moved within 5’ of the property line and the applicant is asking for this flexibility. Utility Director, Gajewski, said there is frontage for sewer and water on Townline Road. The sanitary sewer line is standard with individual services to each home. The water main is still to be determined by the Utility Commission and further discussion with Mr. Hanley. Rauch said the entry to the property will be a private driveway. Hanley stated the Home Association will be responsible for any services on the property. Hartz asked if parking pads would be converted to garages. Hanley said no. A discussion followed regarding the flexibilities in this application.

Speaker #1: Bethany Souza, 997 S Lake Shore Drive, in favor of the development and builder.

Speakers #2: Cindy Flower, 533 Haskins Street, asked for clarification of parking spaces per unit and additional parking on the site. Hanley said 2 spaces per unit plus additional guest parking on the site. Slavney and Hartz said the parking questions should be addressed at the PIP level.

Hartz/Skates motion to close the Public Hearing. Motion carried unanimously.

Gibbs/Skates motion to recommend the General Development Plan (GDP) to allow 16 residential dwellings on one tax parcel and include all staff recommendations and fact finding in the affirmative, including moving turn-around off the bike path to the east and exemptions: density, green space, and parking.

Roll Call: Hartz, Skates, Gibbs, Stanczak “yes.” Motion carried unanimously.

Public Hearing and Recommendation of a “Limited” Conditional Use Permit filed by Cassandra Kordecki & Michael Strong d.b.a. Lake Geneva Home Rental LLC, W3437 Royal Glen Ct., Lake Geneva, for the request to allow Commercial Indoor Lodging land use located at 715 North St, within the Single Family – 4 (SR-4) zoning district, Tax Key No. ZF00054.

Attorney Draper stated the applicant requested to continue this request to the next Plan Commission Meeting.

Skates/Stanczak motion to continue the Public Hearing to the April 20th Plan Commission Meeting. Motion carried unanimously.

Public Hearing and Recommendation of a Conditional Use Permit filed by Robert & Barb Hogan, 328 Shoreline Rd. Lake Barrington IL. 60010, for the request to utilize the Single Family – 4 setbacks for a home addition in the Estate Residential -1 land use located at 1300 W. Main St., Tax Key No. ZYUP000940.

Neil Harden, Hardon Builders, on behalf of Robert & Barb Hogan, presented the request. Slavney said most of the improvements are located 200' from the lake and meets all the requirements an SR-4 setbacks.

Skates/Stanczak motion to close the Public Hearing. Motion carried unanimously.

Skates/Gibbs motion to recommend a Conditional Use Permit (CUP) for the utilization of the Single Family – 4 setbacks for a home addition in the Estate Residential - 1 land use and include all staff recommendations and fact finding in the affirmative. Stanczak/Hartz motion for a friendly amendment to the original motion to include removing the old foundation near the southern property line as part of the project.

Roll Call: Hartz, Skates, Gibbs, Stanczak “yes.” Motion carried unanimously.

Public Hearing and Recommendation on an application for an amendment to the Precise Implementation Plan (PIP) filed by Daniel Schuld, 281 Keys Ave. Hampshire, IL 60140, requesting to alter the exterior site plan that would allow for the outdoor seating to be located at grade level. The property is located at 727 Geneva St., Unit 1, in the Central Business (CB) zoning district, Tax Key No. ZOP00157.

Ken Etten, McCormick & Etten Architects, representing Dan Schuld, presented the request. Dan Schuld also presented some details. Slavney stated the final signage can be submitted for approval at a later date. Gibbs asked if the patio is ADA compliant. Etten explained the ramp and bathroom design of the project. Hartz and Etten explained the historic aspects of this building.

Speaker #1: Bethany Souza, 997 S Lake Shore Drive, in favor of this project and the enhancements to the building.

Skates/Hartz motion to close the Public Hearing. Motion carried unanimously.

Skates/Stanczak motion to recommend an amendment to the Precise Implementation Plan requesting to alter the exterior site plan to allow for outdoor seating at grade level and include all staff recommendations and fact finding in the affirmative.

Roll Call: Hartz, Skates, Gibbs, Stanczak “yes.” Motion carried unanimously.

Commissioner Gibbs thanked Alderman Skates for his years of service on the Plan Commission for the City of Lake Geneva.

Adjournment. Gibbs/Stanczak motion to adjourn at 7:46 p.m. Motion carried unanimously.

/s/ Brenda Follensbee, Building & Zoning Administrative Assistant

THESE ARE NOT OFFICIAL MINUTES UNTIL APPROVED BY THE PLAN COMMISSION

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: April 20, 2020

Agenda Item #6a

Applicant:

Brad Gramly
W7560 Ethelyn Dr
Delavan, WI 53115

Request:

152 Center St
Downtown Design Review for Exterior Awning
Tax Key No. ZOP00308

Description:

The applicant is submitting an application for Downtown Design Review on the request to install an awning to the front of the building located at 152 Center St. Tax Key No. ZOP00308.

The City reviews all exterior alteration in the CB zoning district to confirm that they conform to the Downtown Design standards, particularly quantity, size, and color requirements.

Staff Recommendations:

Staff recommends *approval* of the Alteration and installation request as submitted.



City of Lake Geneva
Building and Zoning
626 Geneva Street
Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:

152 Center St North

Name & Address of Current Building Owner:

Joanne Patz-Tahl Smale
146 Broad St
Lake Geneva WI 53147

Telephone Number of Current Building Owner:

Email Address:

Name & Address of Applicant:

Brad Gramly 7560 Ethelyn Dr
Delavan WI 53115

Telephone Number of Applicant: 262-617-5232

Email Address: bradg@discovercbd.com

Proposed Design Change:

Put an Awning on front of building with company
name on it

Zoning District:

Names & Address of Architect, Engineer, and/or Contractor of Project:

Northrop Awning Company
411 S Pearl St
Janesville, WI 53548

Description of Project:

Put an awning on front of building with company
name & Logo

Date: Mar 16, 2020

Signature of Applicant: *Brad Gramly*

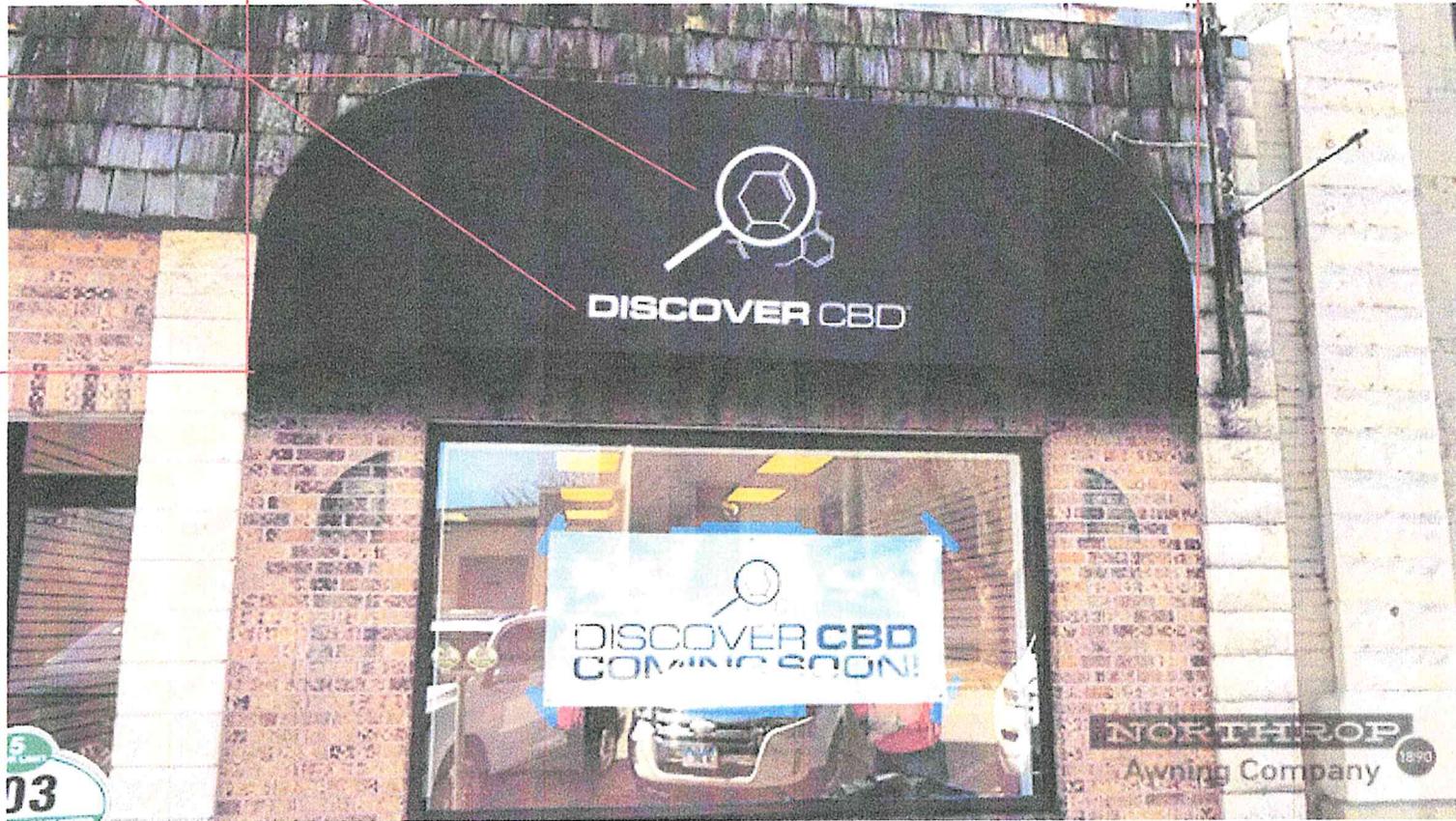
Logo 28" wide x 20" high

Type 54" wide x 4" high

14'7"

48"

7'4" off ground



Customer Discover CBD
Location Lake Geneva, WI
Project Replacement Awning
Date 3-31-20

NORTHROP
Awning Company 1890

411 South Pearl Street, Janesville, Wisconsin
608.754.7158 (fax) 608.754.7890

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: April 20, 2020

Agenda Item #6b

Applicant:

Ron & Sharon Smith
2021 Old Mill Ln.
McHenry, IL. 60050

Request:

729 W. Main St.
Downtown Design Review for Exterior Façade
Tax Key No. ZOP00275

Description:

The applicant is submitting an application for Downtown Design Review on the request to renovate the exterior façade to the front of the building located at 729 W. Main St., Tax Key No. ZOP00275.

The City reviews all exterior alteration in the CB zoning district to confirm that they conform to the Downtown Design standards, particularly quantity, size, and color requirements.

Staff Recommendations:

Staff recommends *approval* of the Alteration and installation request as submitted.



City of Lake Geneva
Building and Zoning
626 Geneva Street
Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:

729 W. Main St. Lake Geneva
ZOP 00275

Name & Address of Current Building Owner:

Ron & Sharon Smith
2021 Old Mill Ln.
McHenry, IL 60050

Telephone Number of Current Building Owner: 847-927-6038

Email Address: Sharon@twelfthandbrown.com

Name & Address of Applicant:

Same as building owner

Telephone Number of Applicant: Same as owner

Email Address: Same

Proposed Design Change:

The proposed change to the storefront includes a color change and the
addition of simulated cast iron pilasters, reflecting the buildings
original design, and a dentel molding cornice.

Zoning District: Central business

Names & Address of Architect, Engineer, and/or Contractor of Project:

Description of Project:

See attached

Date: 3/12/2020 Signature of Applicant: Sharon Smith

Description of Project:

The storefront will be made of exterior grade wood products featuring 3 simulated cast iron pilasters with a dental molding cornice above the storefront which will resemble the stone cornice at the top of the building. All will be primed and painted with Sherwin Williams "Urbane Bronze" #SW 7048 (historical color palette) in satin finish. In addition, the top of the storefront cornice will be flashed with copper. Existing window trim and door frame will be painted to match the façade with DTM (direct to metal) paint in the same "Urbane Bronze" historical color.

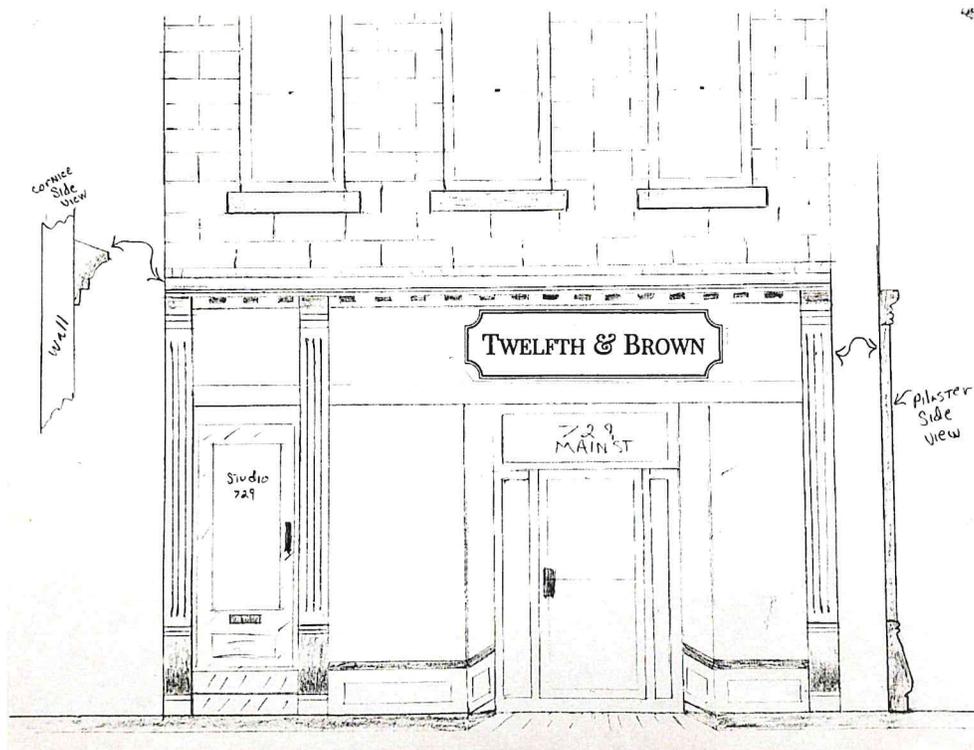
Twelfth & Brown sign is currently 8' long and 1'7" high. The size will remain the same. The proposed changes to the sign are the letters and border will be constructed of ¼ inch flat aluminum painted gold (same as current color) and secured to the building with 1 inch stand offs.

EXISTING FACADE



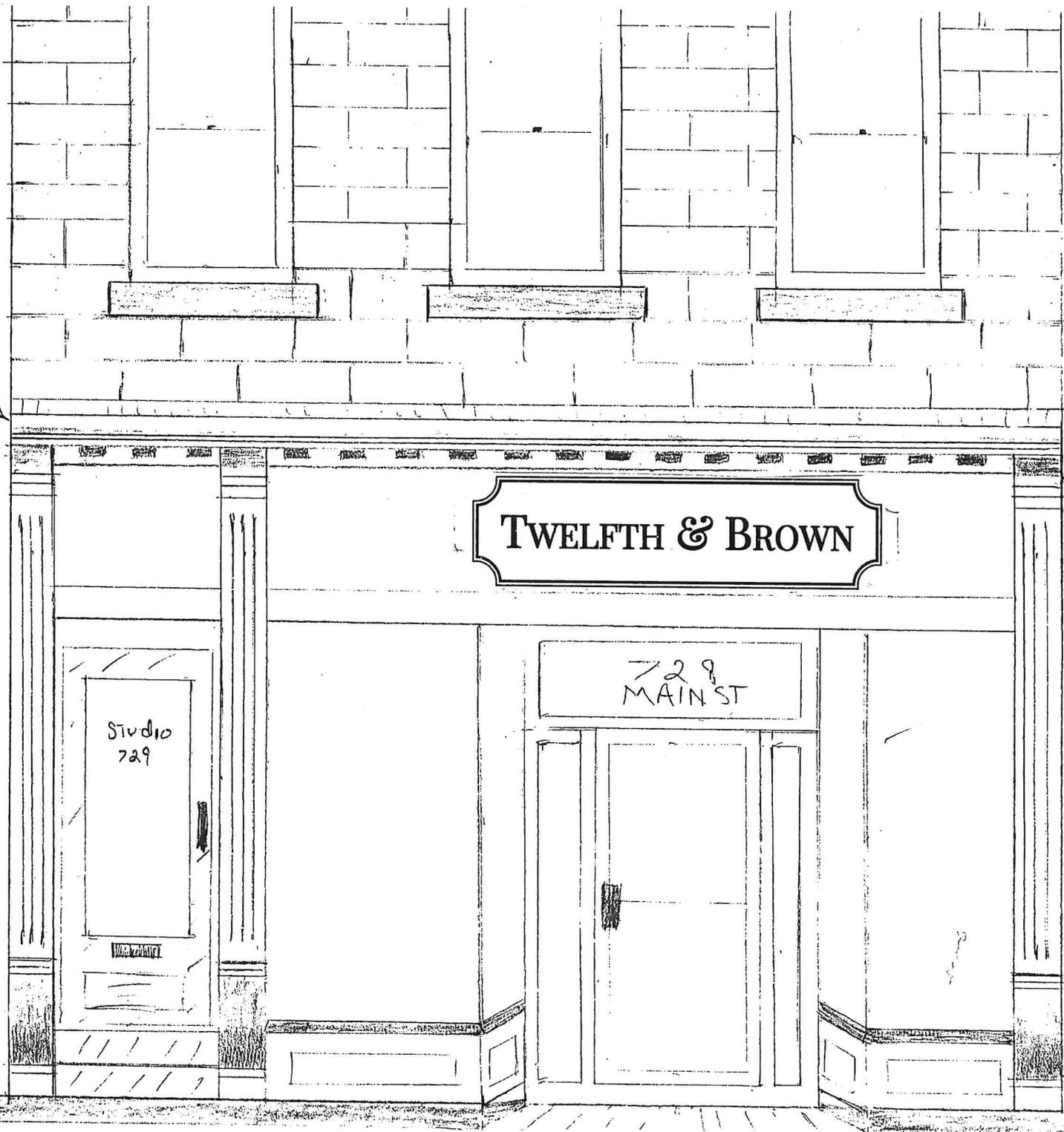
PROPOSED FACADE

The storefront will be made of exterior grade wood products featuring 3 simulated cast iron pilasters with a dental molding cornice above the storefront which will resemble the stone cornice at the top of the building. All will be primed and painted with Sherwin Williams "Urbane Bronze" #SW7048 (historical color palette) in satin finish. In addition, the top of the storefront cornice will be flashed with copper. Existing window trim and door frame will be painted to match the façade with DTM (direct to metal) paint in the same "Urbane Bronze" historical color.



Cornice
Side
View

Wall



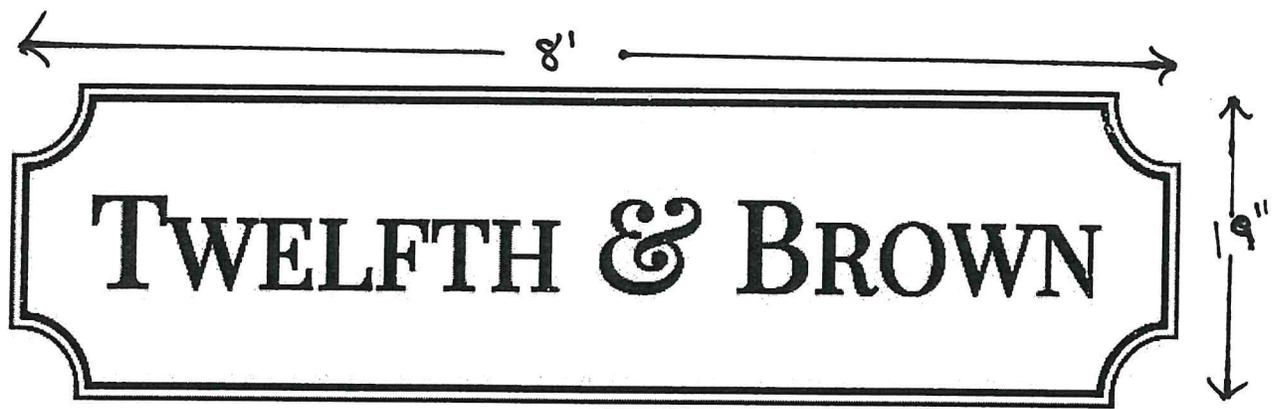
TWELFTH & BROWN

729
MAIN ST

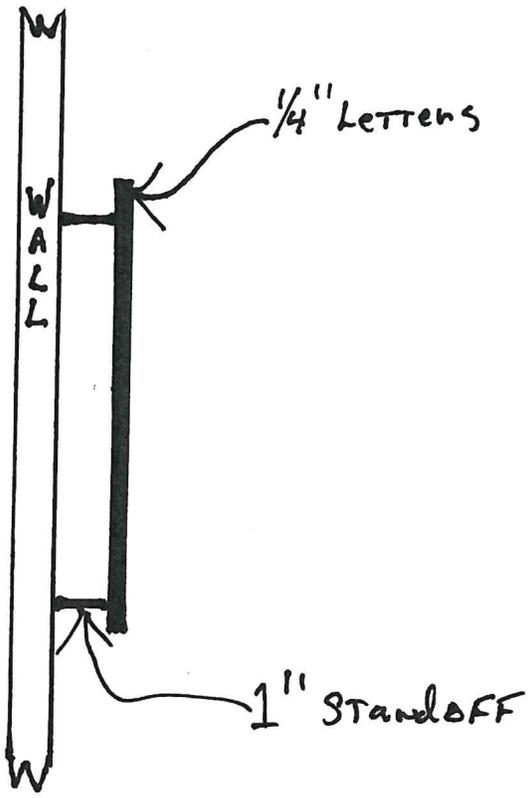
Studio
729

Pilaster
Side
View

Twelfth & Brown sign is currently 8' long and 1'7" high. The size will remain the same. The proposed changes to the sign are the letters and border will be constructed of 1/4 inch flat aluminum painted gold (same as current color) and secured to the building with 1 inch stand offs.

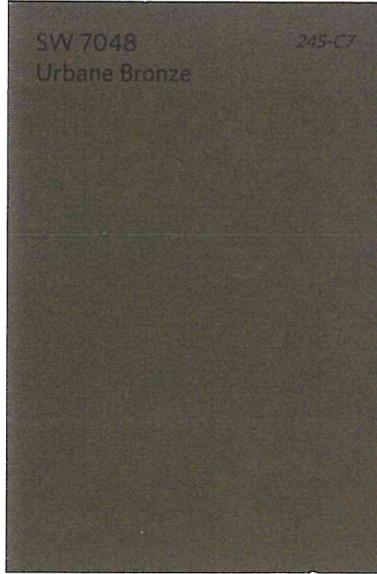


Side view

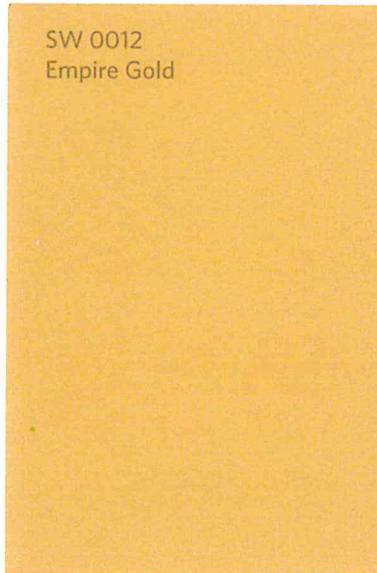


Storefront

Sherwin Williams #SW 7048



Sign
Sherwin Williams #SW 0012



STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: April 20, 2020

Agenda Item: 7

Applicant:

Cassandra Kordecki & Michael
Strong d.b.a.
Lake Geneva Home Rental, LLC
W3437 Royal Glen Ct.
Lake Geneva

Request:

715 North St.
Limited Conditional Use Permit
Commercial Indoor Lodging
Tax Key No. ZF00054

Description:

The applicant is submitting a proposal for a Limited Conditional Use Permit (CUP) to continue a Commercial Indoor Lodging land use at the property located at 715 North St. to allow for a tourist rooming house type land use located in the Single Family Residential - 4 (SR-4) zoning district.

The unique situation with this application is that in this zoning classification the Commercial Indoor Lodging land use was in operations prior to zoning changes, and with the issuance of the Limited Conditional Use the owner can continue the business as it has since 2011.

Currently this request is not permitted in the SR-4 zoning designation, albeit since it has been in operations prior to the zoning code changes the applicant met with staff to determine that a Limited Conditional Use Permit would meet the intent of the zoning code.

Project Details from Limited CUP Submittal

The proposed project submittal meets or exceeds all requirements of the Zoning Ordinance.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Limited Conditional Use Permit (CUP):

As part of the consideration of the requested Limited CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed Limited CUP;
- Include *findings* required by the Zoning Ordinance for Limited CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Required Plan Commission Findings on the Limited CUP for Recommendation to the Common Council:

A proposed Limited CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
- a. In general, the proposed limited conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed limited conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed limited conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed limited conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - e. The proposed limited conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed limited conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed limited conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed limited conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

- c. The proposed limited conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
- d. The proposed limited conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- e. The proposed limited conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- f. The potential public benefits of the proposed limited conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Limited Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed "limited" conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

715 North St, Z F00054; PT Large Lot 48 Fergusons Add Desc as Com in S LN Large Lot 48, 185' of SW Cor Sd Lot, E 60', N 137' W 60', S to POB, Ferguson's Add, City of Lake Geneva

Name and Address of Current Owner:

Cassandra Kordecki & Michael Strong D/B/A Lake Geneva Home Rental, LLC - W3437 Royal Glen Ct Lake Geneva WI 53147

Telephone No. with area code & Email of Current Owner: 262-203-4434

Cass@lakegenevahomereantal.com, Casskordecki@yahoo.com

Name and Address of Applicant:

Lake Geneva Home Rental LLC, (Cass Kordecki & Michael Strong) W3437 Royal Glen Ct Lake Geneva WI 53147

Telephone No. with area code & Email of Applicant: Cass@lakegenevahomereantal.com

262-203-4434

Proposed Conditional Use: ⁹⁸⁻²⁰⁷⁽²⁾ Limited Conditional Use - for commercial

Indoor lodging, use to be continued, was using prior to amendment in 2016, as is: Home & Barn - 98-905(14)/1(d)

Zoning District in which land is located: SF-R

Names and Addresses of architect, professional engineer and contractor of project:

Short statement describing activities to take place on site:

Vacation Rental / Short term rental - residential in nature to one party at a time, 1-30 days in duration, 365 Days per year. Home has been licensed by state as tourist Rooming house through 1970, and again in 2011-current. Will obtain Room tax permit & submit taxes & business license.

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

12/13/19
Date

Cass Kordecki
Signature of Applicant

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
 CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ ___ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓
 Draft Final Packet (1 Copy to Zoning Administrator)

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___ (a) **A map of the proposed conditional use:**

- ___ Showing all lands for which the conditional use is proposed;
- ___ Showing all other lands within 300 feet of the boundaries of the subject property;
- ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- ___ All lot dimensions of the subject property provided;
- ___ Graphic scale and north arrow provided.

___ (b) **A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**

- _____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed conditional use:
 _____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

- How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?
Home has been used for short term residential rentals to only one party at a time since 1970. Home was rehabbed & licensed by state in 2011, and is still being used for short term residential rentals to date - No changes planned.
- How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?
Commercial/Business zoning across street, Neighborhood ~~side business~~ next door to West, Duplex to East.
- Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?
Home was inspected by state & licensed building inspector in 2011 & granted license as tourist rooming house. occupancy is required to conform to state regs. Parking is adequate off street.
- How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?
land use intensity is same or less residentially zoned properties near subject property. Will only rent to one group at a time, may not be occupied as often as residential rentals to full time residents.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

Yes. It is situated on edge of business district.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Subject property has been operated as short-term residential rental since 1970. In 2011 home was inspected & licensed for current use. No police reports or adverse activity has been reported.

IV. FINAL APPLICATION PACKET INFORMATION

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**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
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Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ by: _____

↓

___ (a) A written description of the intended use describing in reasonable detail the:

___ Existing zoning district(s) (and proposed zoning district(s) if different);

___ Land use plan map designation(s);

___ Current land uses present on the subject property;

___ Proposed land uses for the subject property (per Section 98-206);

___ Projected number of residents, employees, and daily customers;

___ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;

___ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

- ___ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- ___ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- ___ Exterior building and fencing materials (Sections 98-718 and 98-720);
- ___ Possible future expansion and related implications for points above;
- ___ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

___ (b) A Small Location Map at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

___ (c) A Property Site Plan drawing which includes:

- ___ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- ___ The date of the original plan and the latest date of revision to the plan;
- ___ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- ___ A reduction of the drawing at 11" x 17";
- ___ A legal description of the subject property;
- ___ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- ___ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- ___ All required building setback lines;
- ___ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- ___ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- ___ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- ___ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- ___ The location of all outdoor storage areas and the design of all screening devices;
- ___ The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;
- ___ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- ___ All engineering requirements for utilities, site designs, etc;
- ___ The location and type of any permanently protected green space areas;
- ___ The location of existing and proposed drainage facilities for storm water;

___ In the legend, data for the subject property on:

- ___ Lot Area;
- ___ Floor Area;
- ___ Floor Area Ratio (b/a);
- ___ Impervious Surface Area;
- ___ Impervious Surface Ratio (d/a);
- ___ Building Height.

___ ___ (d) A **Detailed Landscaping Plan** of the subject property:

- ___ Scale same as main plan (> or equal to 1" equals 100')
- ___ Map reduction at 11" x 17"
- ___ Showing the location of all required buffer yard and landscaping areas
- ___ Showing existing and proposed Landscape Point fencing
- ___ Showing berm options for meeting said requirements
- ___ Demonstrating complete compliance with the requirements of Article VI
- ___ Providing individual plant locations and species, fencing types and heights, and berm heights;

___ ___ (e) A **Grading and Erosion Control Plan**:

- ___ Same scale as the main plan (> or equal to 1" equals 100')
- ___ Map reduction at 11" x 17"
- ___ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

___ ___ (f) **Elevation Drawings** of proposed buildings or remodeling of existing buildings:

- ___ Showing finished exterior treatment;
- ___ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- ___ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III.FINAL APPLICATION PACKET INFORMATION

___ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

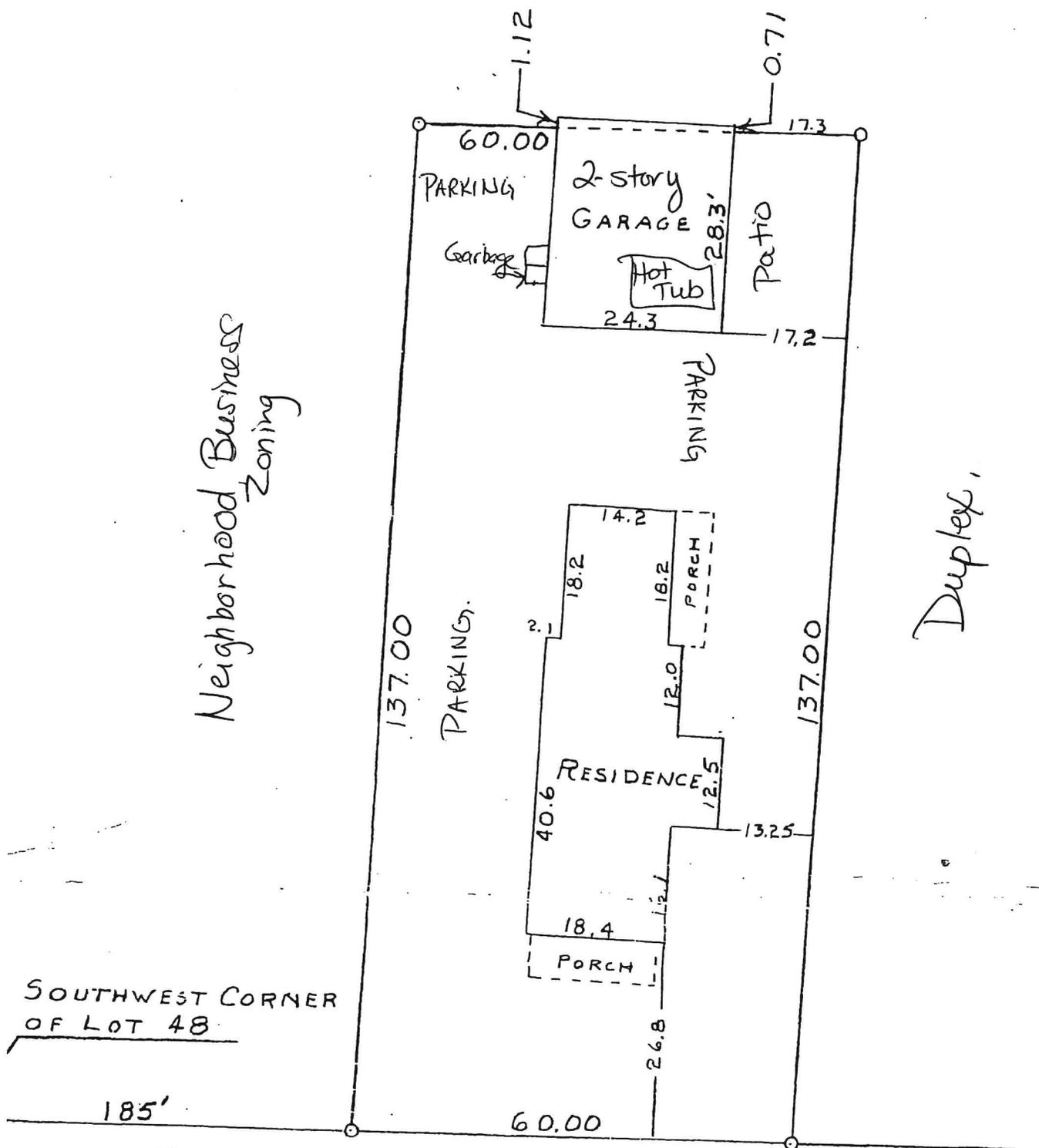
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Neighborhood Business
Zoning

Duplex



SOUTHWEST CORNER
OF LOT 48

Site Diagram for
715 NORTH ST.

STREET

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: April 20, 2020

Agenda Item: 8

Applicant:

Timothy Reuss,
4262 Dorchester Ave.
Gurnee, IL 60031

Request:

940 Marshall St.
Limited Conditional Use Permit
Commercial Indoor Lodging
Tax Key No. ZRA000030

Description:

The applicant is submitting a proposal for a “Limited” Conditional Use Permit (CUP) for the property located at 940 Marshall St. to allow for a Commercial Indoor Lodging land use located in the General Business (GB) zoning district.

Project Details from Limited CUP Submittal

The proposed project submittal meets or exceeds all requirements of the Zoning Ordinance.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Limited Conditional Use Permit (CUP):

As part of the consideration of the requested Limited CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed Limited CUP;
- Include *findings* required by the Zoning Ordinance for Limited CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Required Plan Commission Findings on the Limited CUP for Recommendation to the Common Council:

A proposed Limited CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
 - a. In general, the proposed limited conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance,

and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

- b. Specific to this site, the proposed limited conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed limited conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed limited conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - e. The proposed limited conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed limited conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed limited conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed limited conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed limited conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

- d. The proposed limited conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- e. The proposed limited conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- f. The potential public benefits of the proposed limited conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Limited Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed "limited" conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE
City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

940 Marshall St. Lake Geneva, WI.
Lot 33 of Rich's addition ZRA 00030

Name and Address of Current Owner:

Timothy Reuss 4262 Dorchester Ave. Gurnee, IL. 60031

Telephone No. with area code & Email of Current Owner:

847 826-0234 t-reuss@northwestern.edu

Name and Address of Applicant:

Timothy Reuss 4262 Dorchester Ave. Gurnee, IL. 60031

Telephone No. with area code & Email of Applicant:

847 826-0234 t-reuss@northwestern.edu

Proposed Conditional Use: Commercial Indoor Lodging

Zoning District in which land is located: Commercial

Names and Addresses of architect, professional engineer and contractor of project: N/A

Short statement describing activities to take place on site:

Overnight rental

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

3/6/20
Date

X Timothy Reuss
Signature of Applicant

20

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

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___ (a) A map of the proposed conditional use:

- ___ Showing all lands for which the conditional use is proposed;
- ___ Showing all other lands within 300 feet of the boundaries of the subject property;
- ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
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- _____ (e) Written justification for the proposed conditional use:
 - _____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. *(See below)*

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?
This use will not impact neighboring properties
2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?
Existing use is consistent with this request
3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?
No
4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?
Yes

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

YES

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

YES

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- ___ (a) A written description of the intended use describing in reasonable detail the:
 - ___ Existing zoning district(s) (and proposed zoning district(s) if different);
 - ___ Land use plan map designation(s);
 - ___ Current land uses present on the subject property;
 - ___ Proposed land uses for the subject property (per Section 98-206);
 - ___ Projected number of residents, employees, and daily customers;
 - ___ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
 - ___ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

___ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;

___ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";

___ Exterior building and fencing materials (Sections 98-718 and 98-720);

___ Possible future expansion and related implications for points above;

___ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

___ (b) A **Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

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___ The date of the original plan and the latest date of revision to the plan;

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___ A reduction of the drawing at 11" x 17";

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___ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;

___ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;

___ All required building setback lines;

___ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;

___ The location and dimension (cross-section and entry throat) of all access points onto public streets;

___ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;

___ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;

___ The location of all outdoor storage areas and the design of all screening devices;

___ The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;

___ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;

___ All engineering requirements for utilities, site designs, etc;

___ The location and type of any permanently protected green space areas;

___ The location of existing and proposed drainage facilities for storm water;

_____ In the legend, data for the subject property on:

- _____ Lot Area;
- _____ Floor Area;
- _____ Floor Area Ratio (b/a);
- _____ Impervious Surface Area;
- _____ Impervious Surface Ratio (d/a);
- _____ Building Height.

_____ (d) A Detailed Landscaping Plan of the subject property:

- _____ Scale same as main plan (> or equal to 1" equals 100')
- _____ Map reduction at 11" x 17"
- _____ Showing the location of all required buffer yard and landscaping areas
- _____ Showing existing and proposed Landscape Point fencing
- _____ Showing berm options for meeting said requirements
- _____ Demonstrating complete compliance with the requirements of Article VI
- _____ Providing individual plant locations and species, fencing types and heights, and berm heights;

_____ (e) A Grading and Erosion Control Plan:

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- _____ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

_____ (f) Elevation Drawings of proposed buildings or remodeling of existing buildings:

- _____ Showing finished exterior treatment;
- _____ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- _____ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III.FINAL APPLICATION PACKET INFORMATION

_____ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

_____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

_____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

Development Review Committee (DRC) Application

20

Complete as much detailed information as possible to allow for a comprehensive departmental review prior to a Development Review Committee meeting. This application must be returned to the Building Inspector, with all conceptual plans, designs and other information prior to the scheduling a DRC meeting.

Applicant Information

Property Address 940 Marshall St. Lake Geneva, WI 53147
Applicant name Timothy Reuss
Applicant email t-reuss@northwestern.edu Phone Number 847 826-0234

Architect/Contractor/Designer Name N/A
Architect/Contractor/Designer Email _____ Phone Number _____

Type of Construction: New _____ Addition _____ Remodel _____
Type of Development: Single-family _____ Multi-family _____ Commercial Industrial _____
Type of Business Commercial indoor lodging

Engineering

Site Plans should include the following: Project title and owner's/developer's name and address noted, architect's and/or engineer's name and address noted, property boundaries and dimensions, abutting property zoning classifications, general description of building materials, façade and roof detail, setback lines indicated, easements for access, if any, 100-year floodplain identification, existing and proposed topography shown at a contour interval of one foot, indicating proposed grade and location of improvements, signage and outdoor lighting, number of parking spaces provided, type, size and location of all structures with all building dimensions shown, location of existing and general location of proposed sanitary sewers, storm sewers, water-mains, and any proposed stormwater management facilities, location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening, location of pedestrian sidewalks and walkways, graphic outline of any development staging that is planned, driveway locations and sizes, handicap accessibility, environmental concerns (odor, smoke, noise, graphic scale and north arrow).

- Storm water management provisions provided? YES / NO
 - As-built/certification notification
- Erosion control plan provided? YES / NO
- Wetlands, floodplains, environmental corridors, groundwater Identified. YES / NO
- Utility Plans Provided
 - Watermain
 - Sanitary Sewer
 - Storm Water
- Is a Land Division required? YES / NO
- Access points and dimensions shown? YES / NO
 - WISDOT Right-of-way?
 - County Right-of-way?
- Estimated Traffic impacts None
 - Traffic Study Required YES/NO
 - Traffic Control Plan Required YES/NO
 - Will construction affect street parking or intersections? YES / NO

- Paving Materials, Typical Sections? YES/NO *Future driveway install anticipated*
- WDNR Notice of Intent required? (Land disturbance more than 1 acre)? YES/NO
- Watermain extension required? YES/NO
- Sanitary sewer extension required? YES/NO
- SEWRPC Service Area Amendment needed? YES/NO
- Is a Chapter 30 Permit (wetland/waterway) required? YES/NO
- Proposed building/expansion dimensions NO
- Will there be signage? YES/NO type (mounted, freestanding) _____
- Exterior lighting plans? YES/NO
- What kind of noise or level of noise will the business have? _____
- Detailed property Site Plan? YES/NO Date of Plan: _____
- Green Space Calculations (Existing vs. Proposed) YES/NO
- Are landscape plans provided? YES/NO
- Is a Land Division required? YES/NO

Water/Sewer Utilities

If an existing structure please circle the following:

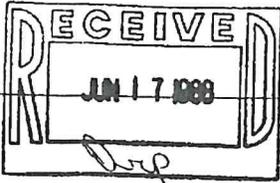
- Will existing sewer & water connections be used? YES/NO
- Will your project require the installation of a grease interceptor? YES/NO

If the development is Commercial or Industrial, please provide the following:

- Water service size requirement _____
- Estimated daily water usage in gallons per day _____
- Estimated maximum water flow in gallons per minute _____
- Number of bathrooms 1
- Brief description of process (if Industrial) _____

If the development is a multi-family dwelling, please provide the following:

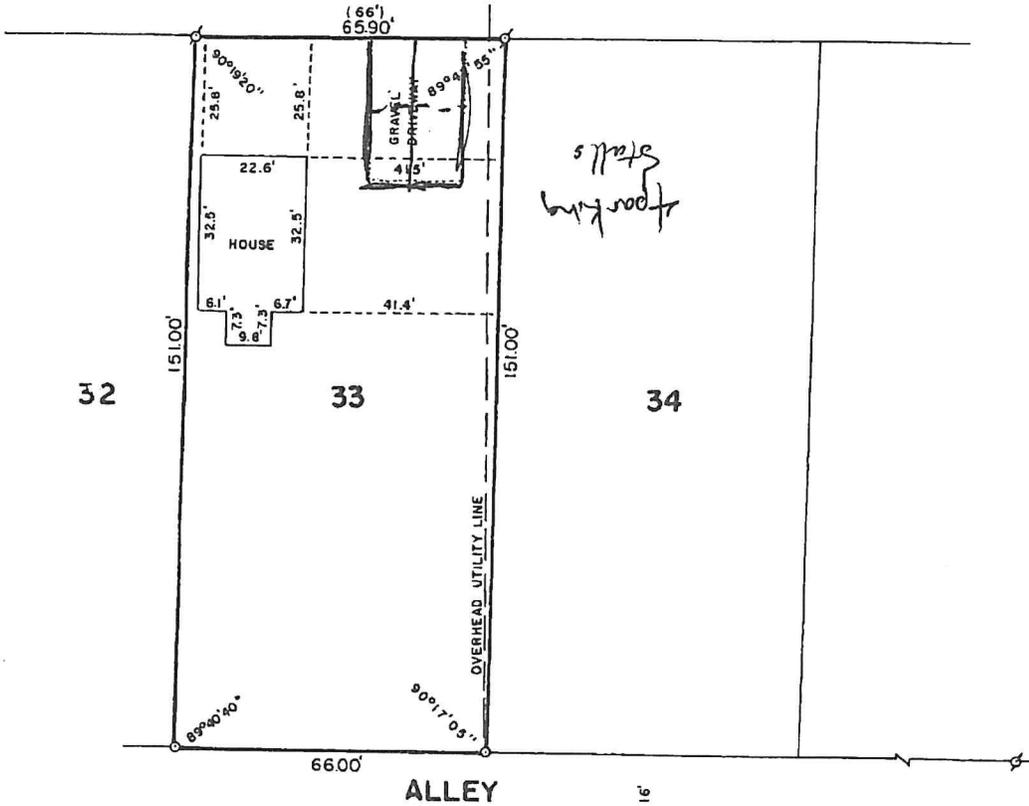
- Number of units _____
- Number of bedrooms in each unit _____
- Water service size requirement _____



WALWORTH COUNTY
SURVEYING & MAPPING
LAKE GENEVA, WISCONSIN

MARSHALL STREET

Parking Stall 9x18'



PLAT OF SURVEY OF

ORDERED BY:
KEEFE REAL ESTATE
704 MAIN STREET
LAKE GENEVA, WISCONSIN
53147

LOT 33 OF RICH'S ADDITION TO THE
CITY OF LAKE GENEVA, WALWORTH
COUNTY, WISCONSIN.

NOTE: REFER TO DEED OR GUARANTEE POLICY
FOR BUILDING LINES AND EASEMENTS NOT SHOWN
HEREON.



SCALE: 1"=30'

- IRON PIPE FOUND
- IRON PIPE PLACED
- () - RECORDED AS

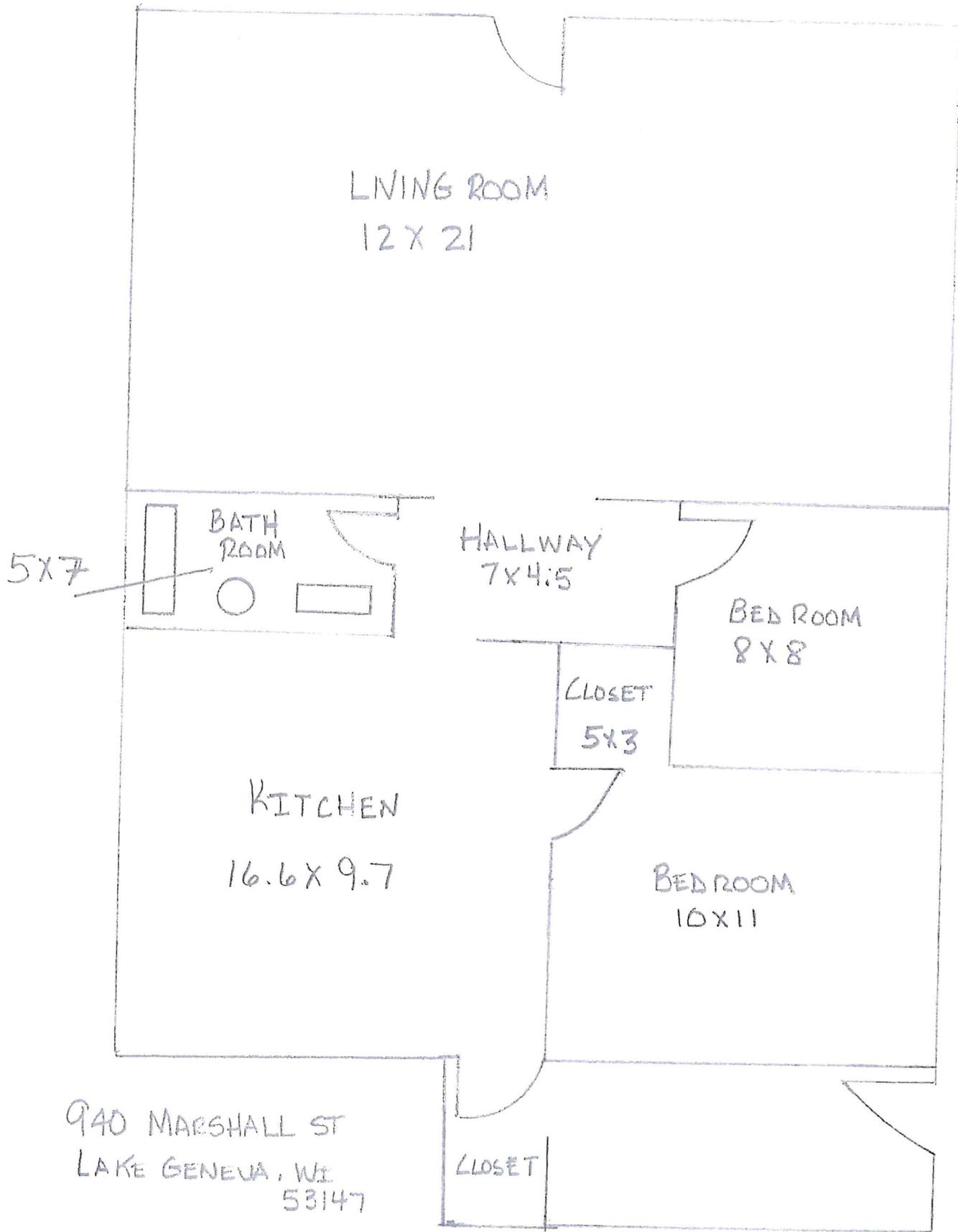
HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

Robert M. Baerenwald
ROBERT M. BAERENWALD
WISCONSIN REGISTERED LAND SURVEYOR, S-1508

DATE *June 7, 1988*
JOB NO. 1532

NOTE: THIS IS NOT A CERTIFIED COPY UNLESS SEALED.
7-1045



940 MARSHALL ST
LAKE GENEVA, WI
53147

ZRA00030

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: April 20, 2020

Agenda Item: 9

Applicant:

Ann Esarco
1051 Mobile St
Lake Geneva 53147

Request:

New Single Family Residence
960 S. Lake Shore Dr.
Conditional Use Permit
Estate Residential (ER-1)
Tax Key No. ZSY00027

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) that would allow for construction of a new single family residence located in the Estate Residential (ER-1) zoning district utilizing the Single-Family Residential – 4 (SR-4) zoning.

Project Details from CUP Submittal

The proposed project submittal meets or exceeds all requirements of the Zoning Ordinance.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
- a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance,

and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

- c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

- e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

LOT 27 Pine Tree Lane lake Geneva WI 53147

zsy 00027

NAME AND ADDRESS OF CURRENT OWNER:

ANN ESARCO

1051 MOBILE ST. LAKE GENEVA WI 53147

TELEPHONE NUMBER & EMAIL OF CURRENT OWNER: 815-382-1688 aesarco@me.com

NAME AND ADDRESS OF APPLICANT:

ANN ESARCO

1051 MOBILE ST. LAKE GENEVA WI. 53147

TELEPHONE NUMBER & EMAIL OF APPLICANT: 815-382-1688 aesarco@me.com

PROPOSED CONDITIONAL USE:

Requesting SR-4 setbacks in an ER-1 zoning district
Purpose - to build new single family residence

ZONING DISTRICT IN WHICH LAND IS LOCATED: ESTATE Residential 1 - ER1

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Fairwyn

Brian C. Pollard 875 Townline Rd Ste 103

LAKE GENEVA WI 53147

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Construct new single family home on existing
lot. Requesting SR-4 setbacks in ER-1 zoning district

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

2-11-2020

DATE

Ann Esarco

SIGNATURE OF APPLICANT

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ ___ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ by: _____

↓

___ (a) A map of the proposed conditional use:

- ___ Showing all lands for which the conditional use is proposed;
- ___ Showing all other lands within 300 feet of the boundaries of the subject property;
- ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft.
- ___ All lot dimensions of the subject property provided;
- ___ Graphic scale and north arrow provided.

___ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:

- _____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed conditional use:
- ✗ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

- How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?
The existing lot, while considered non-conforming, is approximately the same size as others in the area, including those in Syver Stad sub-division. the subdivision of this property
- How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?
The existing lot, is approximately the same size as others in the area, including those in the Syver Stad sub-division, the subdivision of this property
- Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?
NO, access to the home will be one private drive off Pine Tree Lane
- How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?
The proposed conditional use consists of constructing a new single-family home. ~~the proposed use~~ - The construction is consistent with other single family homes in the Syver Stad SUBDIVISION. the subdivision of this property

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

there will be no burden on any improvements, facilities, utilities, or services provided by public agencies serving the property.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

there will be no adverse impacts generated by the proposed conditional use.

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

February 11, 2020

To Whom It May Concern:

Enclosed is my application for conditional use for the construction of a new single family home on my existing vacant lot which is Lot 27 Pine Tree Lane, Lake Geneva, WI. I'm requesting SR-4 setbacks in an ER-1 Zoning district. I am working with Brian Pollard at Fairwyn Custom Homes, LLC to build my home. Please let me know if there are any further materials or clarifications to my proposed project you might need. My contact information is below along with Brian Pollard.

Thank you for your time and consideration in this matter.

Warmest Regards,

Ann Esarco



Ann Esarco
815-382-1688
aesarco@me.com

Brian C Pollard
262-749-9255
brian@fairwyn.com

Esarco Conditional Use Packet
Lot 27 Pine Tree Lane, Lake Geneva, WI 53147
Parcel # ZSY 00027

Properties within 300 feet of the boundaries of the subject property, list of names,
address and current owners on record of the Register of Deeds of Walworth County.

ZSY 00001 (705 Pine Tree Lane)
George Antonopoulos Self -Dec Trust
Mary Antonopoulos Self-Dec Trust
1006 Hillside Dr.
Northbrook, IL 60062

ZSY 00002 (709 Pine Tree Lane)
Teresa M Klocker Trust
2731 Brassie Dr.
Glenview, IL 60025

ZSY 00003 (713 Pine Tree Lane)
Lane J Kapela Trust
4 Johanna Dr.
Plano, IL 60545

ZSY 00004 (721 Pine Tree Lane)
Donna Lee Crook Trust
721 Pine Tree Lane
Lake Geneva, WI 53147

ZSY 00005 (725 Pine Tree Lane)
Joseph B Cardiff Trust
725 Pine Tree Lane
Lake Geneva, WI 53147

ZFA 00004 (920 S. Lake Shore Dr.)
Brian C Pollard Special Trust
920 Lake Shore Drive Unit 4
Lake Geneva, WI 53147

ZFA 00003 (900 S. Lake Shore Dr.)
Fairwyn Investment Co, LLC
875 Townline Rd Ste 103
Lake Geneva, WI 53147

ZYUP 00106A (968 S. Lake Shore Dr.)
Bohdan Kachur
Patricia Kachur
968 S. Lake Shore Dr.
Lake Geneva, WI 53147

ZYUP 00106B (739 N. Knoll Ln.)
Dennis Sopher
Michaele Sopher
739 N. Knoll Ln.
Lake Geneva, WI 53147

ZSY 00026 (vacant lot)
Ann Esarco
1051 Mobile St.
Lake Geneva, WI 53147

ZSY 00025 (724 Pine Tree Ln.)
Scott L DiParvine
Ashlee D Box
724 Pine Tree Ln
Lake Geneva, WI 53147

ZSY 00024 (vacant lot)
Dennis Sopher
Michaele Sopher
739 N. Knoll Ln.
Lake Geneva, WI 53147

ZYUP 00106S (1006 S. Lake Shore Dr.)
Jerome R Orf Trust
1006 S. Lake Shore Dr
Lake Geneva, WI 53147

ZJ 00001 (969 S. Lake Shore Dr.)
Phillip R Johnson Trust
Emily L Soley-Johnson Trust
750 Veterans Pkwy #109
Lake Geneva, WI 53147

ZA206600001 (997 S. Lake Shore Dr.)
Stonewall Properties LLC
997 S. Lake Shore Dr.
Lake Geneva, WI 53147



Walworth County, WI - OneView

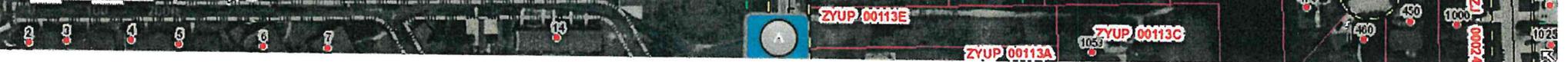
[? Help](#) [? Resources](#) [Employee Login](#)

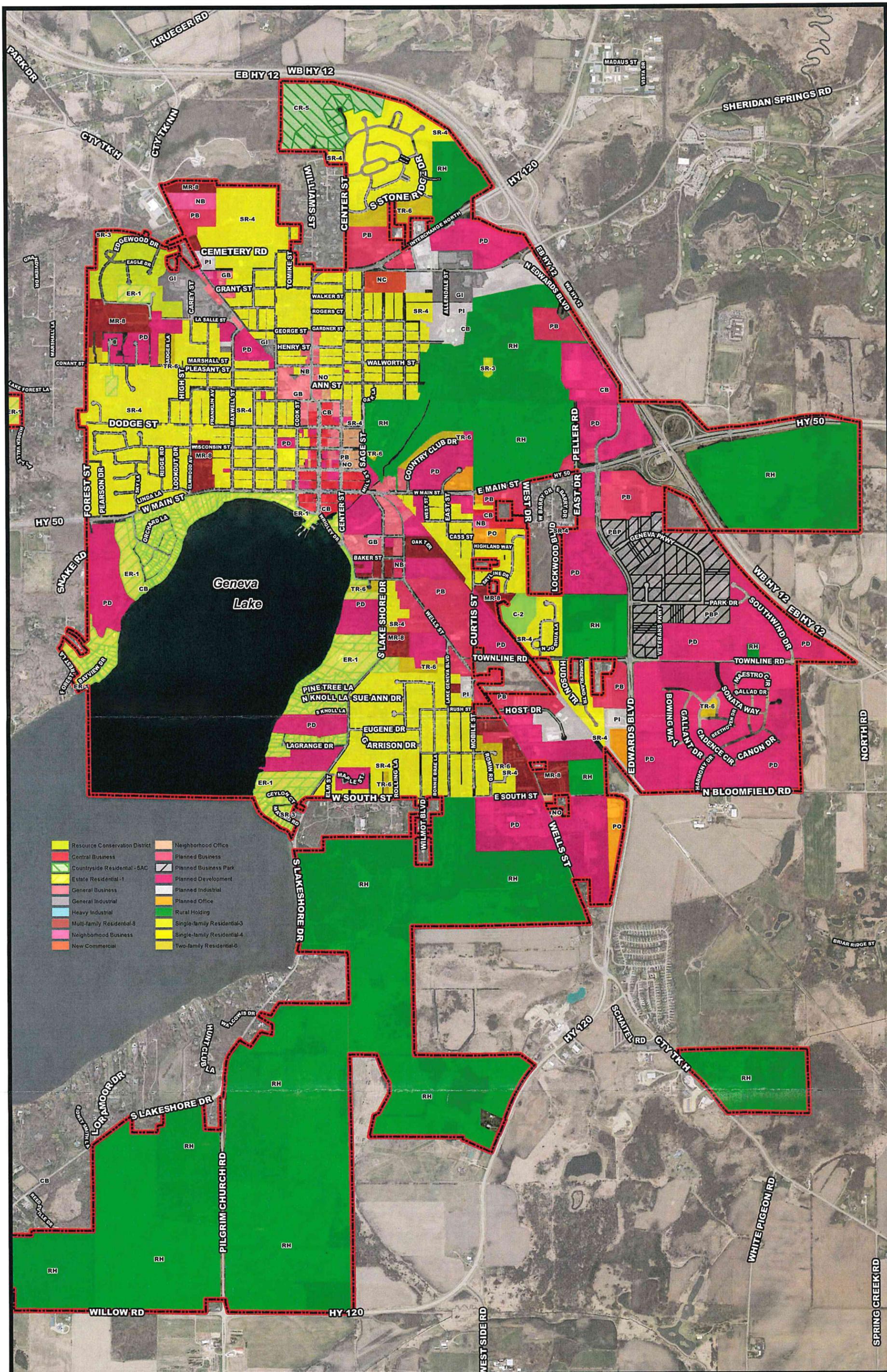
Search for a Parcel or Address



Map navigation controls including zoom in (+), zoom out (-), home, search, and other utility icons.

Vertical toolbar on the right side of the map containing icons for home, layers, search, print, and share.

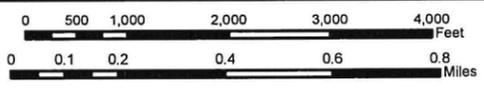




- | | |
|--------------------------------|-----------------------------|
| Resource Conservation District | Neighborhood Office |
| Central Business | Planned Business |
| Countryside Residential - 5AC | Planned Business Park |
| Estate Residential - 1 | Planned Development |
| General Business | Planned Industrial |
| General Industrial | Planned Office |
| Heavy Industrial | Rural Holding |
| Multi-family Residential-3 | Single-family Residential-3 |
| Neighborhood Business | Single-family Residential-4 |
| New Commercial | Two-family Residential-0 |



City of Lake Geneva
Zoning Map on Aerial Background



SPRING CREEK RD

FAIRWYN HOMES

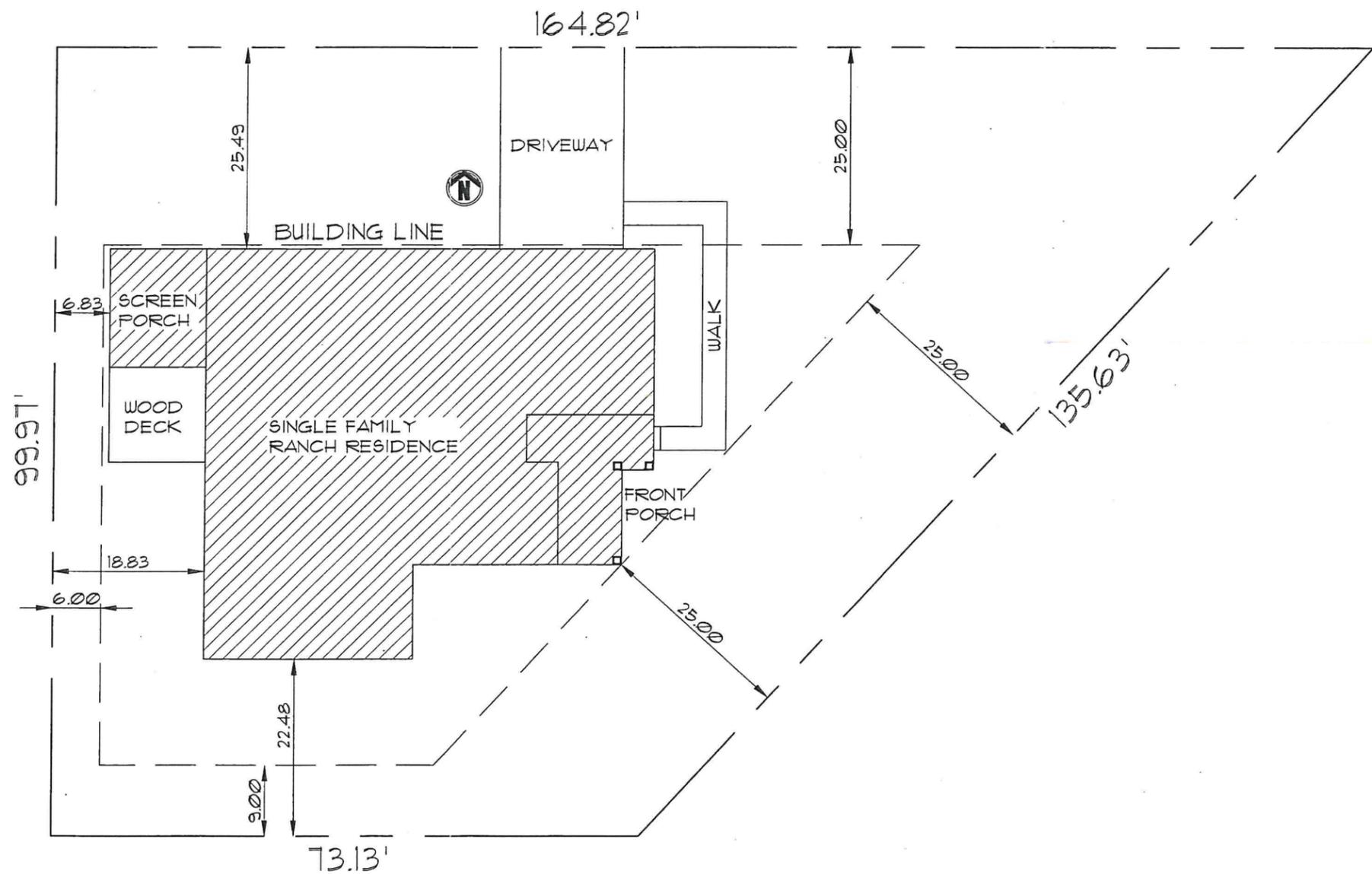
THE ESARCO RESIDENCE
 LOT 27 PINE TREE LANE
 LAKE GENEVA, WI. 53147



DESIGNERS
 HATLEY, N. 50142
 OFFICE: 224-800-3030
 EMAIL: ADAM.MDG@GMAIL.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE# 164-00261

FAIRWYN HOMES
 875 TOWNLINE ROAD
 SUITE 103
 LAKE GENEVA, WI 53147
 P: 262.248.5010

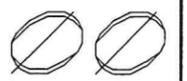
SINGLE FAMILY HOME FOR:
 THE ESARCO RESIDENCE
 LOT 27 PINE TREE LANE
 LAKE GENEVA WI 53147



73.13'
SITE PLAN
 SCALE: 1/8" = 1'-0"

©COPYRIGHT 2020 MIDWEST DESIGN GROUP

DATE	REV#	DESCRIPTION OF REVISION
11-27-19	1	PRELIMINARY PLANS FOR REVIEW
12-11-19	2	REVISED PRELIMINARY PLANS
1-14-20	3	PROGRESS SET FOR REVIEW
2-1-20	4	FINAL PLANS FOR PERMIT



X-ESARCO.DWG

DATE	REV#	DESCRIPTION OF REVISION
11-27-19	1	PRELIMINARY PLANS FOR REVIEW
12-11-19	2	REVISED PRELIMINARY PLANS
1-14-20	3	PROGRESS SET FOR REVIEW
2-11-20	4	FINAL PLANS FOR PERMIT

BEAM/POST NOTE:
- BEAM/POST CONNECTION TO MEET IRC 2006 R502.4 BEARING THE ENDS OF EACH JOIST, BEAM OR GIRDER SHALL HAVE NO LESS THAN 1-1/2" OF BEARING ON WOOD OR METAL, AND NOT LESS THAN 3" ON MASONRY OR CONCRETE.

PENETRATION NOTE:
PENETRATIONS BETWEEN STORIES AND THE ROOF SPACE SHALL BE PRESTOPPED AS WELL AS BOFFITS, DROPPED CEILINGS, ETC.

CONCRETE NOTE:
PORCHES, STEPS EXPOSED TO WEATHER AND GARAGE FLOOR SLAB SHALL HAVE CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI AND SHALL BE AIR ENTRAINED NOT LESS THAN 5% OR MORE THAN 1%.

BRACING NOTE:
WALLS ARE REQUIRED TO BE BRACED AT A MAX OF 20'-0" O.C. (BUT NOT TO BE LESS THAN 6% OF THE WALL LENGTH WITH 48" WIDE BY THE HEIGHT OF THE STORY WITH STRUCTURAL PANEL BRACING).

GAS APPLIANCE NOTE:
ADEQUATE SUPPLY OF COMBUSTION AIR SHALL BE PROVIDED FOR ALL GAS APPLIANCES IN ACCORDANCE WITH MFR'S SPECIFICATIONS AND 709 IRC.

RADON VENT NOTE:
ELECTRICIAN SHALL PROVIDE 2" PIPE/ELECTRICAL BOX IN ATTIC FOR FUTURE N-LINE FAN. PLUMBER TO INSTALL PASSIVE PIPE SYSTEM TO VENT BASEMENT SUB-SLAB RADON THROUGH ROOF PER LOCAL CODE. PROVIDE MIN 3" PIPE LABELED "RADON REDUCTION SYSTEM" SUPPLY FIT TO BE SEALED. ALL CRACKS AND PENETRATIONS TO BE SEALED. LAP V.E. UNDER SLAB 2" MIN. AT ALL BEAMS.

BACKFILLING NOTE:
BACKFILLING NOTE: CONTRACTOR SHALL NOT BACKFILL UNTIL THE SLAB HAS BEEN Poured AND FLOOR DECK IS FRAMED WITH SUBFLOOR INSTALLED. ALL PLATES BOLTED TO THE FOUNDATION WALL AND JOISTS NAILED TO THE WALL PLATE. ALTERNATIVELY, BACKFILLING MAY BE COMPLETED AFTER ALL FOUNDATION WALLS HAVE BEEN ADEQUATELY BRACED PER SITE AND SOIL CONDITIONS.

GENERAL NOTE:
ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURE TREATED MATERIAL.

ALL FASTENERS, HANGERS, AND FLASHING FOR PRESURE TREATED WOOD SHALL BE COMPATIBLE WITH ACC TREATED LUMBER.

PROVIDE A CONCRETE ENCASED ELECTRODE SHALL BE INSTALLED IN THE FOOTING INDICATE THE CLASP SHALL BE LISTED FOR CONCRETE ENCASEMENT.

TWO (2) #5 HORIZONTAL REBAR REINFORCEMENT SHALL BE REQUIRED AT THE TOP AND BOTTOM, AND SIDES OF CONCRETE WALL OPENINGS WIDER THAN TWO FEET (2'-0").

- WATER SERVICE AND SEWER LINE CLEAN OUT LOCATIONS TO BE VERIFIED IN THE FIELD.

- WATER SERVICE AND BUILDING DRAIN OR BUILDING SEWER TO BE INSTALLED IN SEPARATE TRENCHES WITH A MINIMUM OF 12"-0" HORIZONTAL SEPARATION. WATER SERVICE LINE TO BE A MINIMUM OF 5'-0" BELOW GRADE.

- AT CRIPPLE WALLS AT STEPPED FOUNDATION PROVIDE METAL TIE BILLS AND TOP PLATES PER SECTION R402.3 AND FIGURE R402.3.

- COORDINATE AND VERIFY REBAR PLACEMENT WITH BEAM POCKETS PER R404.4.6.

CUTTING AND NOTCHING
ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. STUDS IN NON-BEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40 PERCENT OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NO GREATER THAN 40 PERCENT OF THE STUD WIDTH. THE EDGE OF THE HOLE IS NO CLOSER THAN 5/8" INCH TO THE EDGE OF THE STUD. A STUD MAY BE BORED TO A DIAMETER NOT EXCEEDING 60 PERCENT OF ITS WIDTH, PROVIDED THAT SUCH STUDS LOCATED IN EXTERIOR WALLS OR BEARING PARTITIONS ARE DOUBLED AND THAT NOT MORE THAN TWO SUCCESSIVE STUDS ARE BORED, BORED OR NOTCHING IN EXCESS OF THAT NOTED SHALL REINFORCED WITH METAL SPLICE PLATES.

WHERE PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD WALL, NECESSITATING A CUTTING OF THE TOP PLATE BY NOTCHES. CANTILEVERED PORTIONS LESS THAN 4 INCHES WIDE SHALL NOT BE NOTCHED IN THE DESIGN. WHEN IT IS NECESSARY TO PROVIDE A SPACE FOR PIPES, DUCTS OR VENTS, THE DOUBLE JOISTS REQUIRED TO SUPPORT BEARING PARTITIONS WHICH RUN PARALLEL TO THE FLOOR JOISTS SHALL BE SPACED APART TO ACCOMMODATE THE PIPES, DUCTS, VENTS AND BLOCK AT 4 FEET ON CENTER.

NOTCHES IN THE TOP OR BOTTOM OF SOLID JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH OF THE JOIST AND SHALL BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. WHERE JOISTS ARE NOTCHED ON THE ENDS, THE NOTCH SHALL NOT EXCEED ONE-FIFTH THE JOIST DEPTH. CANTILEVERED PORTIONS LESS THAN 4 INCHES WIDE SHALL NOT BE NOTCHED IN THE DESIGN. WHEN IT IS NECESSARY TO PROVIDE A SPACE FOR PIPES, DUCTS OR VENTS, THE DOUBLE JOISTS REQUIRED TO SUPPORT BEARING PARTITIONS WHICH RUN PARALLEL TO THE FLOOR JOISTS SHALL BE SPACED APART TO ACCOMMODATE THE PIPES, DUCTS, VENTS AND BLOCK AT 4 FEET ON CENTER.

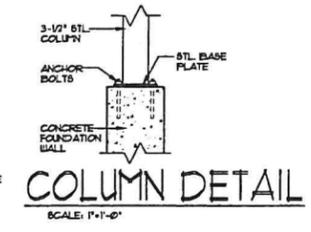
STRUCTURAL STEEL
ALL STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL CONFORM TO THE CURRENT ADOPTED EDITION OF AISC MANUAL FOR STEEL CONSTRUCTION ASD OR LRFD, AND SPECIFICATION FOR STRUCTURAL STEEL BUILDING.

FABRICATION AND ERECTION OF STRUCTURAL AND MISC. STEEL SHALL CONFORM TO THE AISC CODE OF STANDARD PRACTICE, UNLESS OTHERWISE DETAILED.

ALL WELDING SHALL COMPLY WITH AISC CODE AND SPECIFICATION AND D.I.I. ALL FIELD WELDING TO BE DONE BY AISC PRE-QUALIFIED WELDERS, CERTIFIED FOR WELDS MADE.

ALL STEEL SHALL BE SHOP PRIMED WITH RUST PROHIBITIVE PAINT.

COLUMN BASE FLATES WITH OVERSIZED HOLES SHALL HAVE FLATE WASHERS PROVIDED WITH ANCHOR BOLTS.



HVAC NOTES:
THE INTERIOR DESIGN TEMPERATURES USED FOR LOAD CALCULATIONS SHALL BE A MAX. OF 75 DEGREES F. FOR HEATING.
THE INTERIOR DESIGN TEMPERATURES USED FOR LOAD CALCULATIONS SHALL BE A MIN. OF 71 DEGREES F. FOR COOLING.
A PROGRAMMABLE THERMOSTAT IS PROVIDED TO CONTROL THE HEATING AND COOLING SYSTEMS.
IF PROVIDING DUCTWORK IN ANY ATTIC SPACES, SUPPLY DUCTS IN ATTICS SHALL HAVE R-8 INSULATION, R-6 FOR COMPLETELY IN THE THERMAL ENVELOPE.
THE BUILDING ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE AS OUTLINED IN THE 2015 IECC.
THE HEATING AND COOLING SYSTEMS SHALL COMPLY WITH THE 2015 IECC, AND SHALL BE SIZED BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL 7, AND IN ACCORDANCE WITH ACCA MANUAL 9, APPROVED HEATING AND COOLING CALCULATION METHODS.
DUCT SYSTEMS SERVING HEATING, COOLING, AND VENTILATION EQUIPMENT SHALL BE FABRICATED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 2015 IECC M1601, AND ACCA MANUAL D OR OTHER APPROVED METHODS.
- ALL DUCTWORK LOCATED IN UNCONDITIONED ATTICS MUST BE PROVIDED WITH MINIMUM R-8 INSULATION. ALL OTHER DUCTS IN UNCONDITIONED SPACES SHALL HAVE A MINIMUM R-6 INSULATION.
- ALL DUCTS, AIRHANDLERS FILTER BOXES AND BUILDING CAVITIES USED FOR DUCTS SHALL BE SEALED.
- BUILDING FRAMING CANNOT BE USED AS AIR SUPPLY DUCTS.
- MINIMUM OF ONE (1) THERMOSTAT CONTROLLING HVAC SHALL BE PROGRAMMABLE, CAPABLE OF CONTROLLING SYSTEM ON A DAILY BASIS PER 2015 IECC R409.11.
- BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS IRC OR IFC, OUTDOOR AIR INTAKES AND EXHAUST SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN SYSTEM IS NOT OPERATING PER 2015 IECC R409.3.
- WOOD BURNING FIREPLACES MUST HAVE GASKETED DOORS AND BE SUPPLIED WITH OUTSIDE COMBUSTION AIR.
- PROVIDE OUTSIDE AIR FOR COMBUSTION AT FURNACE, BOILER AND WATER HEATER.
- MECHANICAL LOCATIONS TO BE DETERMINED BY CONTRACTOR, AND MAY VARY FROM LOCATIONS SHOWN ON PLAN.
THE CONTRACTOR IS TO PROVIDE A FINAL BLOWER DOOR TEST AND AIR DUCT TEST REPORT PRIOR TO OR AT FINAL INSPECTION.
THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED.
A WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL CONSIST OF ONE OR MORE SUPPLY OR EXHAUST FANS, OR A COMBINATION OF SUCH, AND ASSOCIATED DUCTS AND CONTROLS, INDICATE THE VENTILATION RATE OR WEATHER IT WILL BE PROVIDED CONTINUOUSLY OR INTERMITTENTLY.

GENERAL NOTE:
ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURE TREATED MATERIAL.
ALL FASTENERS, HANGERS, AND FLASHING FOR PRESURE TREATED WOOD SHALL BE COMPATIBLE WITH ACC TREATED LUMBER.
PROVIDE A CONCRETE ENCASED ELECTRODE SHALL BE INSTALLED IN THE FOOTING INDICATE THE CLASP SHALL BE LISTED FOR CONCRETE ENCASEMENT.
TWO (2) #5 HORIZONTAL REBAR REINFORCEMENT SHALL BE REQUIRED AT THE TOP AND BOTTOM, AND SIDES OF CONCRETE WALL OPENINGS WIDER THAN TWO FEET (2'-0").
- WATER SERVICE AND SEWER LINE CLEAN OUT LOCATIONS TO BE VERIFIED IN THE FIELD.
- WATER SERVICE AND BUILDING DRAIN OR BUILDING SEWER TO BE INSTALLED IN SEPARATE TRENCHES WITH A MINIMUM OF 12"-0" HORIZONTAL SEPARATION. WATER SERVICE LINE TO BE A MINIMUM OF 5'-0" BELOW GRADE.
- AT CRIPPLE WALLS AT STEPPED FOUNDATION PROVIDE METAL TIE BILLS AND TOP PLATES PER SECTION R402.3 AND FIGURE R402.3.
- COORDINATE AND VERIFY REBAR PLACEMENT WITH BEAM POCKETS PER R404.4.6.

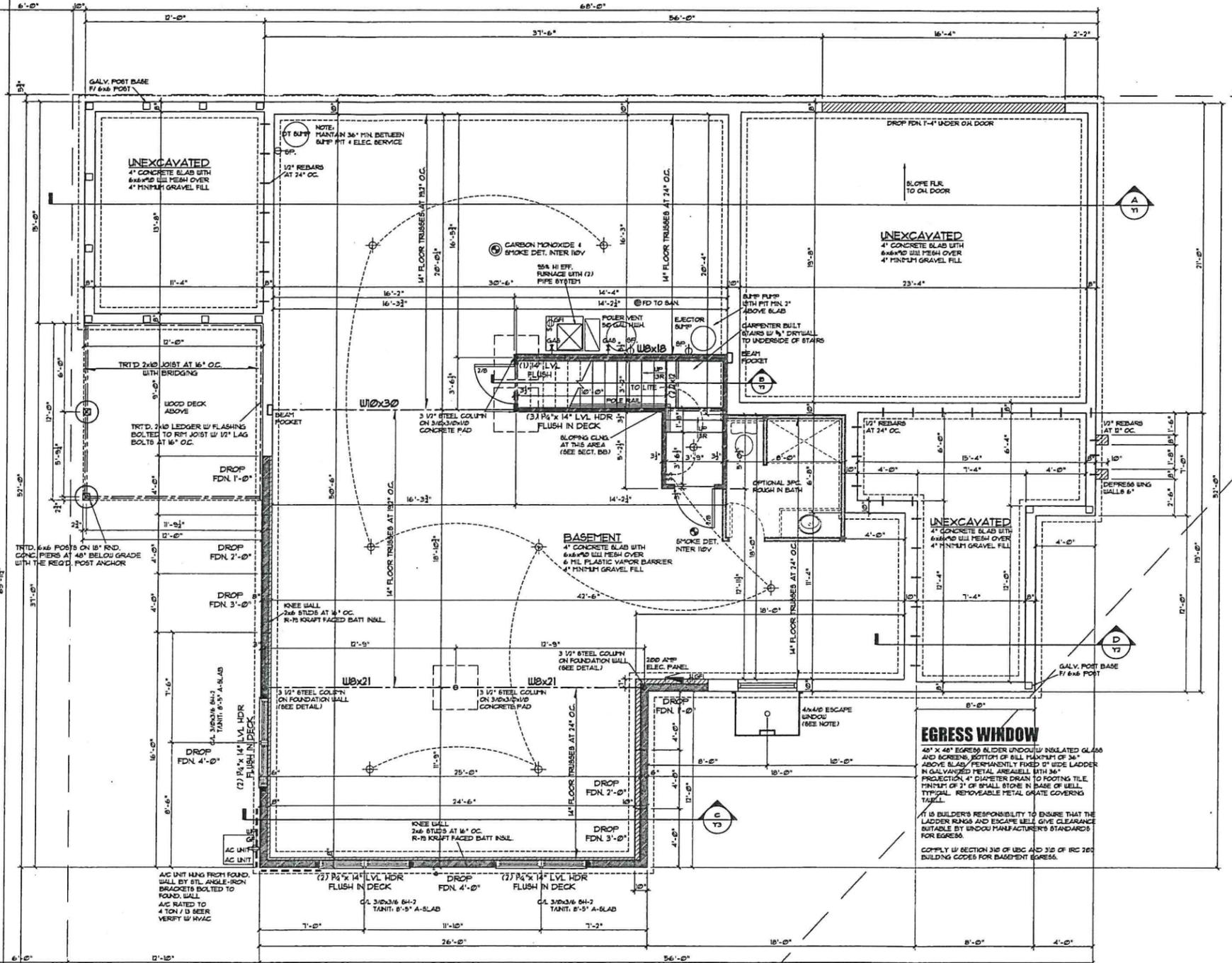
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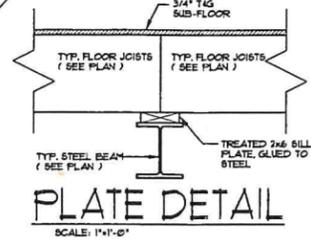
REINFORCING STEEL
INSTALL ALL REINFORCING STEEL IN ACCORDANCE WITH THE C.R.S.I. MANUAL OF STANDARD PRACTICE.
REINFORCING STEEL DESIGN STRENGTH:
TYPICAL REINFORCING BAR A-615 GRADE 60
WELDED WIRE REINFORCING MESH ASTM A-185.
FIELD WELDED REINFORCING STEEL ASTM A-106 GRADE 60

BARS SHALL BE CLEAN OF RUST, GREASE, OR OTHER MATERIAL LIKELY TO IMPAIR CONCRETE BONDING.
LAP ALL SPLICES 12 BAR DIAMETERS. LAP WELDED WIRE MESH 6" UNLESS OTHERWISE NOTED.
PROVIDE 36" HOOK INTO INTERSECTING WALL AT ALL WALL CORNERS FROM HORIZONTAL REINFORCEMENT UNLESS OTHERWISE NOTED.



BASEMENT & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"
9'-0" CONCRETE POUR



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GENERAL NOTES:
PROVIDE A PERMANENT CERTIFICATE COMPLETED AND POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL LISTING THE PREDOMINANT R-VALUES OF INSULATION INSTALLED, WINDOW U-FACTOR, EQUIPMENT EFFICIENCIES, DUCT SYSTEMS, AND AIR LEAKAGE PER ICC R403

ENVELOPE NOTES:
THE BUILDING THERMAL ENVELOPE SHALL BE DURABLE SEALED TO LIMIT INFILTRATION WITH A SUITABLE SOLID MATERIAL BEHIND TUBS AND SHOUERS ON EXTERIOR WALLS.

DESIGN LOADS
WIND SPEED LOAD: ONE HUNDRED FIFTEEN (15) MILES PER HOUR.
ROOF SNOW LOAD / LIVE LOAD: THIRTY (30) PSF.
FLOOR LIVE LOADS FOR SLEEPING, AND NON SLEEPING ROOMS ARE LISTED THIRTY (30) PSF, AND FORTY (40) PSF.

TRUSS NOTE:
TRUSS MANUFACTURER TO COORDINATE ROOF FRAMING WITH ARCHITECT. FRAMING PLANS TO BE SUBMITTED TO ARCHITECT PRIOR TO PERMIT SUBMITTAL.

ENGINEERED SYSTEMS NOTE:
THESE DRAWINGS WERE PREPARED UNDER THE ARCHITECT'S SUPERVISION. RESPONSIBILITY IS WAIVED FOR ALL STRUCTURAL COMPONENTS, SUCH AS ENGINEERED FLOOR JOIST SYSTEMS AND ROOF TRUSSES, WHICH HAVE SEPARATE DRAWINGS PREPARED BY LICENSED STRUCTURAL ENGINEERS EMPLOYED BY THE MANUFACTURER.

BRACING NOTE:
WALLS ARE REQUIRED TO BE BRACED AT A MAX OF 3'-0" O.C. (BUT NOT TO BE LESS THAN 1/6 OF THE WALL LENGTH WITH 48" WIDE BY THE HEIGHT OF THE STORY WITH STRUCTURAL PANEL BRACING).

BATH VENTING NOTE:
ALL BATHROOM EXHAUST FANS ARE TO BE DUCTED TO THE EXTERIOR.

LAUNDRY NOTES:
VENT DRYER TO EXTERIOR.
FAN UNDER WASHER
W/ DRAIN TO SANITARY.

WINDOW NOTE:
ALL WINDOWS SHOWN ARE TO BE SINGLE HUNG UNITS IN FEET AND INCHES.

GLAZING NOTE:
ALL GLAZING REQUIREMENTS TO FOLLOW THE DESIGNER'S INTENT CODE AND FOLLOW MANUFACTURER'S SPECIFICATIONS.

GAS APPLIANCE NOTE:
ADEQUATE SUPPLY OF COMBUSTION AIR SHALL BE PROVIDED FOR ALL GAS APPLIANCES IN ACCORDANCE WITH IFRS SPECIFICATIONS AND 200 IRC.

STRUCTURAL FRAMING LUMBER
FLOOR JOISTS, CEILING JOISTS, HEADERS AND RAFTERS IN-GRADE BASE VALUE AS DETERMINED BY WESTERN WOOD PRODUCTS ASSOCIATION (USE NO MULTIPLIERS AGAINST BASE VALUE)

ENGINEERED WOOD PRODUCTS
MANUFACTURED STRUCTURAL WOOD PRODUCTS SUCH AS HEADERS AND BEAMS HAVE BEEN DESIGNED BASED UPON MICROLAM'S AND PARALLAM'S AS MANUFACTURED BY TRUS-JOIST WEYERMUELLER

1B MICROLAMs F_b = 2600 psi E = 1,000,000
2D PARALLAMs F_b = 2500 psi E = 1,000,000

PENETRATION NOTE:
PENETRATIONS BETWEEN STORES AND THE ROOF SPACE SHALL BE FIRESTOPPED AS WELL AS SOFFITS, DROPPED CEILINGS, ETC.

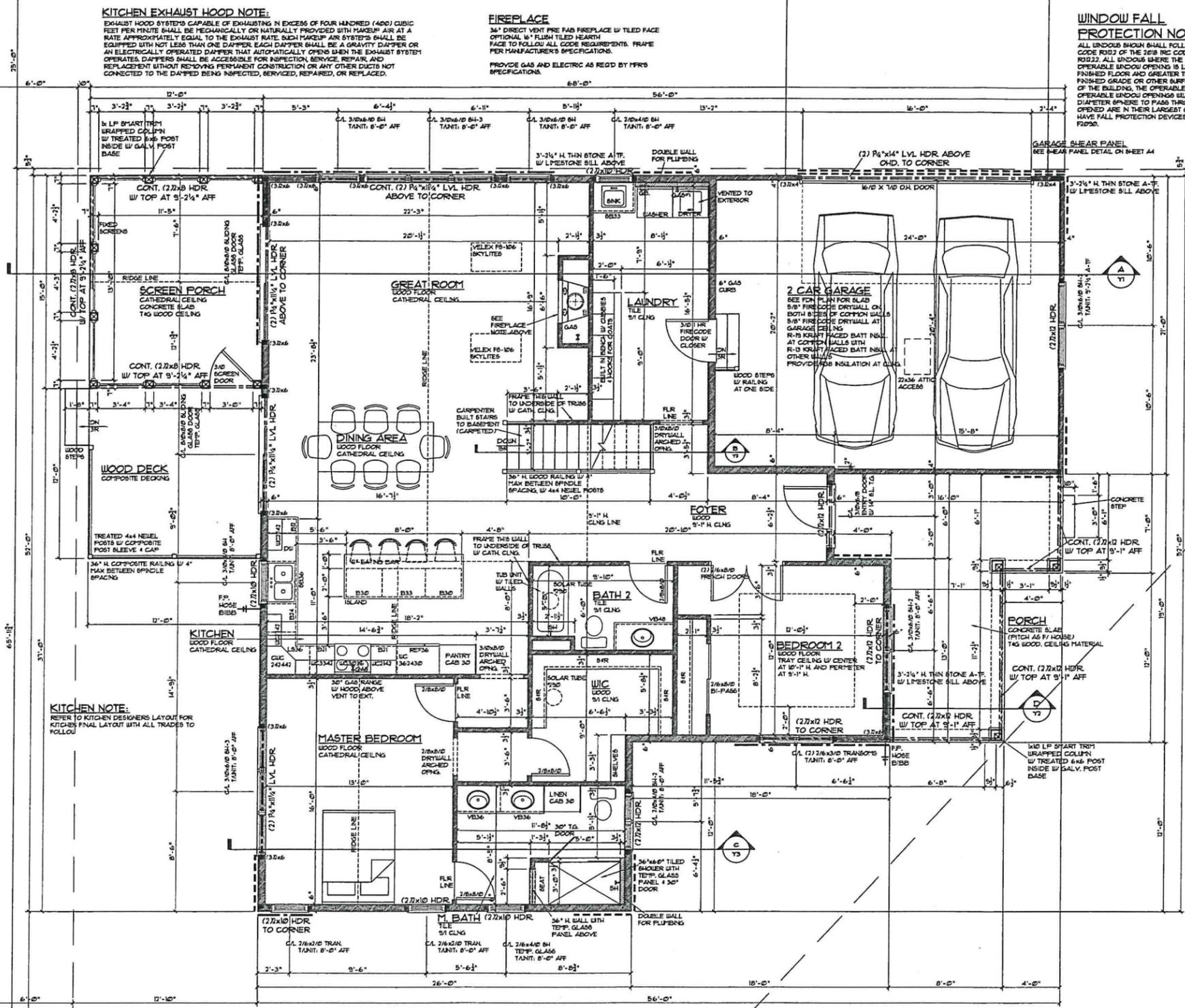
HVAC NOTES:
THE INTERIOR DESIGN TEMPERATURES USED FOR LOAD CALCULATIONS SHALL BE A MAX OF 73 DEGREES F. FOR HEATING.
THE INTERIOR DESIGN TEMPERATURES USED FOR LOAD CALCULATIONS SHALL BE A MIN OF 73 DEGREES F. FOR COOLING.
A PROGRAMMABLE THERMOSTAT IS PROVIDED TO CONTROL THE HEATING AND COOLING SYSTEMS.
IF PROVIDING OUTDOOR AIR IN ANY ATTIC SPACES, SUPPLY DUCTS IN ATTICS SHALL HAVE R-8 INSULATION R-6 IF NOT COMPLETELY IN THE THERMAL ENVELOPE.
THE BUILDING ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE AS OUTLINED IN THE 2005 IECC.
THE HEATING AND COOLING SYSTEMS SHALL COMPLY WITH THE 2005 IECC AND SHALL BE SIZED BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODS.
DUCT SYSTEMS SERVING HEATING, COOLING, AND VENTILATION EQUIPMENT SHALL BE FABRICATED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 205 IECC M601.1 AND ACCA MANUAL D OR OTHER APPROVED METHODS.

DRYER VENTING NOTE:
EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BLDG. EXHAUST DUCT TERMINATIONS SHALL BE IN ACCORDANCE WITH THE DRYER MFR. INSTALLATION INSTRUCTIONS. IF THE MFR. INSTRUCTIONS DO NOT SPECIFY A TERMINATION LOCATION, THE EXHAUST DUCT SHALL TERMINATE NOT LESS THAN 18" IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS. EXHAUST DUCT TERMINATIONS SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER SCREENS SHALL NOT BE INSTALLED AT THE DUCT TERMINATION.

THE MAX LENGTH OF THE EXHAUST DUCT SHALL BE 35' FROM THE CONNECTION TO THE TRANSITION DUCT FROM THE DRYER TO THE OUTLET TERMINAL WHERE FITTINGS ARE USED. THE MAX LENGTH OF THE EXHAUST DUCT SHALL BE REDUCED IN ACCORDANCE WITH TABLE M207.4.1. THE MAX LENGTH OF THE EXHAUST DUCT DOES NOT INCLUDE THE TRANSITION DUCT.

PLUMBING NOTES:
MECHANICAL PIPING CARRYING FLUIDS ABOVE 105 DEGREES F SHALL HAVE R-3 INSULATION PER 205 IECC CODE REQUIREMENTS.

TUB-SHOOWER NOTE:
PROVIDE FIBERGLASS OR GLASS MAT GYPSUM BACKERS INSTALLED FOR WALL TILE APPLIED IN ALL TUB & SHOWER AREAS AND WALL PANELS IN SHOWER AREAS WHICH ARE IN DIRECT CONTACT WITH WATER OR HIGH HUMIDITY.
ALL HAND HELD SHOWER SPRAY UNITS SHALL HAVE AN ATMOSPHERIC VACUUM BREAKER INSTALLED ON THE HOSE SUPPLY FITTING CONFORMING TO ASSE 154.



KITCHEN EXHAUST HOOD NOTE:
EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF FOUR HUNDRED (400) CUBIC FEET PER MINUTE SHALL BE MECHANICALLY OR NATURALLY PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH NOT LESS THAN ONE DAMPER EACH DAMPER SHALL BE A GRAVITY DAMPER OR AN ELECTRICALLY OPERATED DAMPER THAT AUTOMATICALLY OPENS WHEN THE EXHAUST SYSTEM OPERATES. DAMPERS SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR, AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION OR ANY OTHER DUCTS NOT CONNECTED TO THE DAMPER BEING INSPECTED, SERVICED, REPAIRED, OR REPLACED.

FIREPLACE
3/4" DIRECT VENT FIRE PLACE FIREPLACE W/ TILED FACE
OPTIONAL 1/2" FLUSH TILED HEARTH
FACE TO FOLLOW ALL CODE REQUIREMENTS. FRAME PER MANUFACTURER'S SPECIFICATIONS.
PROVIDE GAS AND ELECTRIC AS REQ'D BY IFRS SPECIFICATIONS.

WINDOW FALL PROTECTION NOTE:
ALL WINDOWS SHOWN SHALL FOLLOW FALL PROTECTION CODE 2003 OF THE 2005 IRC CODE, AND COMPLY WITH SEC. R502.2. ALL WINDOWS WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LESS THAN 36" ABOVE THE FINISHED FLOOR AND GREATER THAN 10" ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY. OPERABLE WINDOW OPENINGS SHALL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH WHERE THE WINDOW OPENED ARE IN THEIR LARGEST OPENED POSITION OR HAVE FALL PROTECTION DEVICES THAT COMPLY WITH ASTM F2090.

KITCHEN NOTE:
REFER TO KITCHEN DESIGNERS LAYOUT FOR KITCHEN FINAL LAYOUT WITH ALL TRADES TO FOLLOW

FLOOR PLAN
SCALE: 1/4" = 1'-0"
9'-1" HIGH CEILING

EXIST. MARINER LIVEABLE: 1590 SQ. FT.
ADDED SQAURE FOOTAGE: 200 SQ. FT.
TOTAL LIVABLE: 1790 SQ. FT.

GARAGE: 507 SQ. FT.
FRONT PORCH: 176 SQ. FT.
SCREEN PORCH: 180 SQ. FT.

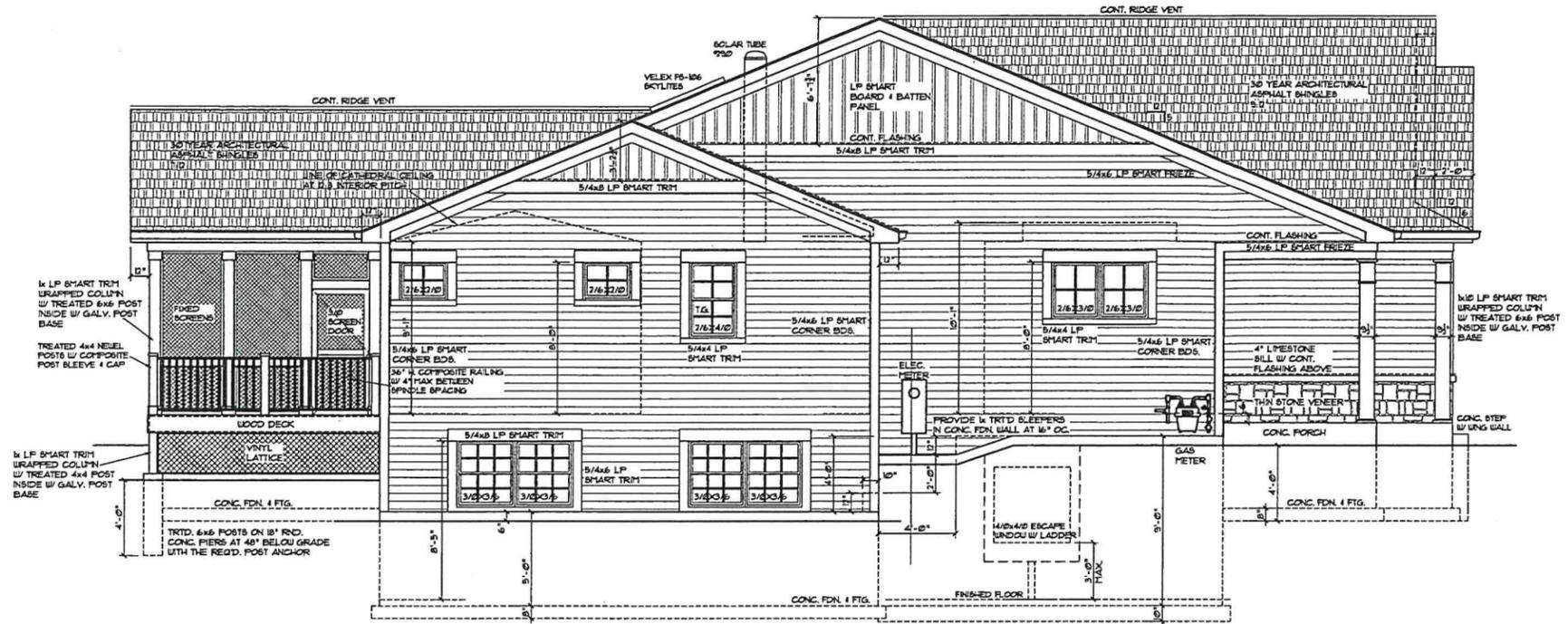
ENERGY CODE NOTES:
ALL WINDOWS AND GLAZED DOORS SHALL FOLLOW THE NOTED MAXIMUM U-FACTORS, AND REQUIREMENTS NOTED BELOW.
MAXIMUM U-FACTOR FOR WINDOWS AND GLAZED DOORS: 0.30
MAXIMUM U-FACTOR FOR SKYLITES: 0.55
ALL NEW WINDOWS AND GLAZED DOORS MUST BEAR THE MANUFACTURER'S STICKERS SO COMPLIANCE CAN BE CONFIRMED.
WOOD BURNING FIREPLACES MUST HAVE GASKETED DOORS AND BE SUPPLIED WITH OUTSIDE COMBUSTION AIR.
BUILDING FRAMING CANNOT BE USED AS AIR SUPPLY DUCTS.
A MINIMUM OF 75% OF ALL LATHS IN PERMANENTLY INSTALLED LIGHT FIXTURES TO BE HIGH EFFICIENCY.
SHOWER DOOR TEST REQUIRED PER SECTION R402.4.1.2

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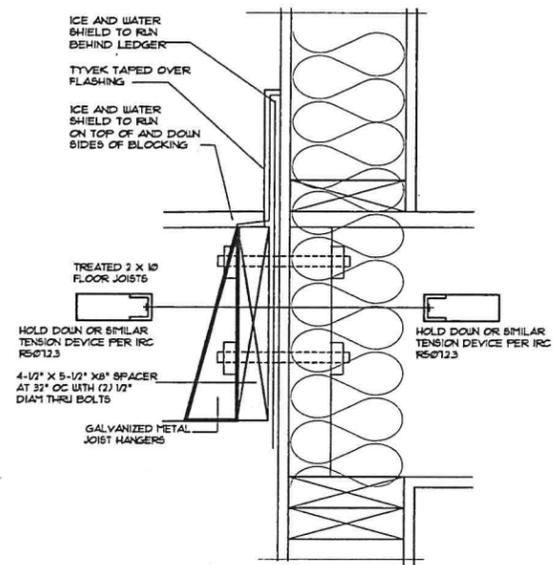
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A3



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



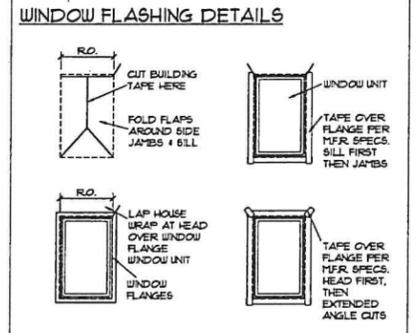
DECK LEDGER DETAIL
SCALE: 3/8" = 1'-0"

ROOF SHEATHING
ROOF SHEATHING: NOTED APA RATED SHEATHING OVER STRUCTURAL MEMBERS AT NOTED SPACING. PROVIDE PLYWOOD CLIPS AT 24" O.C. UNLESS TONGUE AND GROOVE DECKING OR BLOCKING & PANEL EDGES IS USED.

SIDING/TRIM
ALL EXTERIOR TRIM TO BE LP SMART TRIM. COLOR TO BE SELECTED BY CONTRACTOR. FIELD TOUCH UP ALL EXPOSED UNFINISHED SURFACES.

RAILING / BALASTERS
GRADE IS TO BE WITHIN A MAX. 18" BELOW TOP OF WALKING SURFACE. REFER TO SITE GRADING PLAN FOR ADDITIONAL INFORMATION.

PREFINISHED GUTTERS
4" OR 5" "OGEE" STYLE PREFINISHED ALUMINUM ROLL FORMED SEAMLESS GUTTERS MOUNTED ON FASCIA BOARD. FINAL COLOR TO BE SELECTED BY OWNER.



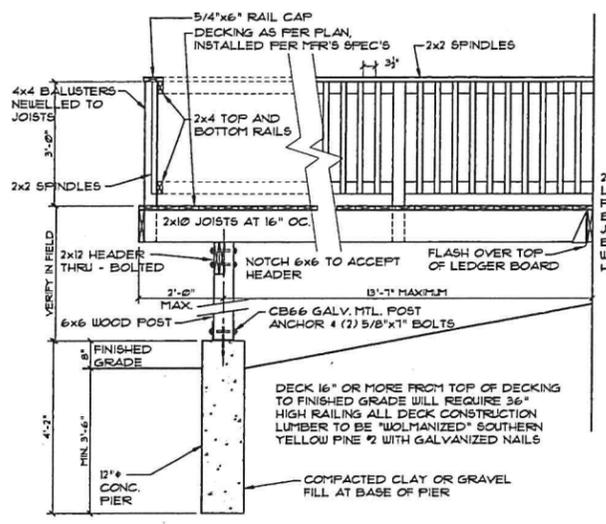
GUTTER NOTE:
DOWNSPOUT LOCATIONS TO BE INSTALLED BY GUTTER CONTRACTOR, PER LOCAL CODES.

TRIM NOTE:
ALL TRIM TO BE LP SMART TRIM. ALL CUTS TO BE PREPARED & CALKED BY CARPENTER.

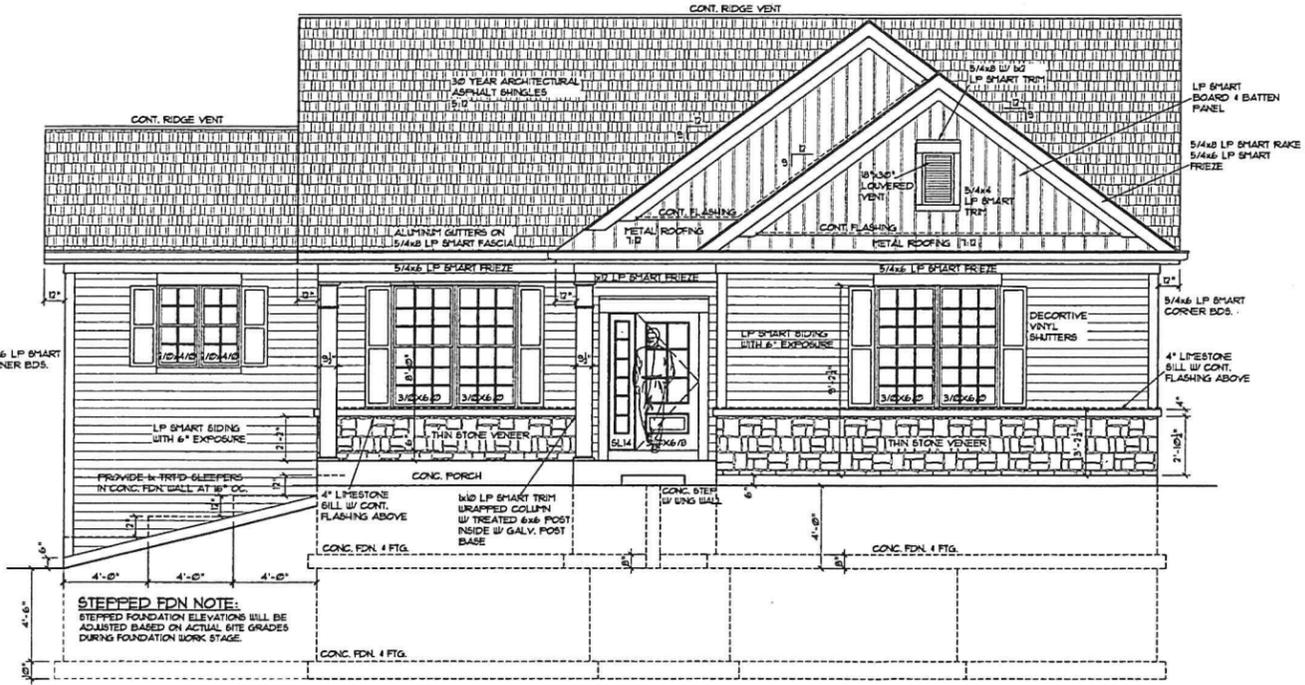
GLAZING NOTE:
ALL GLAZING REQUIREMENTS TO FOLLOW THE IBC/ANSI UNIFORM CODE AND FOLLOW MANUFACTURER'S SPECIFICATIONS.

FLASHING NOTE:
PROVIDE FLASHING AT ALL TOP AND SIDES OF WINDOWS, DOORS, SILLS, AND ROOF VALLEYS.

FLASH ALL SILL CORNERS AT MASONRY VENEER OPENINGS



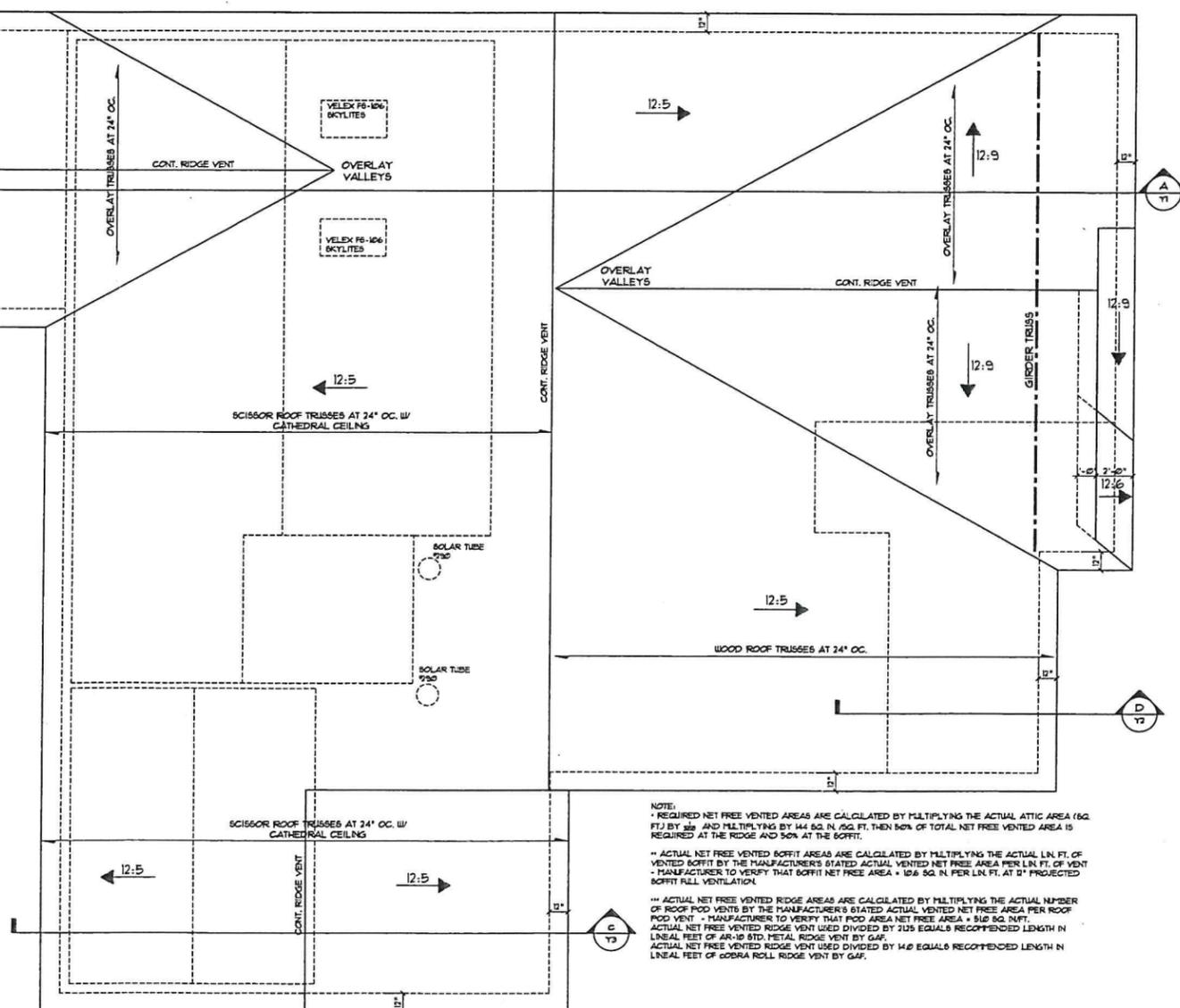
DECK DETAIL
SCALE: 1/2" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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ROOF PLAN VIEW W/ FRAMING
SCALE: 1/4" = 1'-0"

PLUMBING NOTES:

PROVIDE 24" AIR CHAMBERS AT ALL FIXTURES & RISERS, VALVE ALL FIXTURES, EQUIPMENT, & APPLIANCES.
MINIMUM SUPPLY SIZES AND FLOW RATES:
DISHWASHER 1/2" LINE 1.0 GPM
BATH TUBS 1/2" LINE 2.0 GPM
KITCHEN SINK 1/2" LINE 2.0 GPM
LAVATORIES 1/2" LINE 1.0 GPM
SHOWER 1/2" LINE 2.0 GPM
WATER CLOSETS 1/2" LINE 3.0 GPM
LAUNDRY TUB 1/2" LINE 3.0 GPM
HOSE BIBBS 1/2" LINE 5.0 GPM

ALL SUPPLY LINES SHALL BE TYPE 'L' OR TYPE 'K' COPPER, TYPE 'M' COPPER PROHIBITED.
CELL CORE PVC IS NOT ALLOWED FOR DRAINAGE, WASTE & VENTING PIPING.
PROVIDE SHUT-OFF VALVE AND CHECK VALVE FOR EJECTOR PUMP DISCHARGE.
ALL SHOWER OR SHOWER/TUB UNITS MUST HAVE EITHER A THERMOSTATIC OR PRESSURE-BALANCING SAFETY-MIXING VALVES. SET TO DELIVER A MAX OF 115 DEG WATER AT TIME OF INSTALLATION.
PROVIDE DRIP-VALVE ON THE DISCHARGE SIDE OF WATER METER.
PROVIDE FULL SIZE CLEAN-OUT WITHIN 5'-0" OF THE BLDG. FOUNDATION.
PROVIDE A VACUUM BREAK FOR ALL HOSE THREADED OUTLETS.
THE SANITARY WASTE BELOW THE SEWER MUST DISCHARGE INTO A GAS TIGHT, COVERED AND VENTED SUMP, TOP OF SUMP FIT TO BE MIN 2" ABOVE SLAB.
DUAL CHECK VALVE REQUIRED ON HOUSE SIDE OF WATER METER
THERMAL EXPANSION TANK REQUIRED AT ALL WATER HEATERS
INSTALL A BILL COCK OR OTHER MEANS TO DRAIN WATER HEATER

WASTE DIAGRAM NOTES:
2" 3" 4" DRAINS AND 2" VENTS FOR HORIZONTAL RUNS
ALL STUBS TO FIXTURES # 2"
THE PLUMBING INSPECTOR SHALL FIELD VERIFY THE DRAIN, WASTE, VENT, AND WATER DISTRIBUTION SYSTEM SHALL BE PROPERLY SIZED IN ACCORDANCE WITH THE APPROPRIATE TABLES FOUND IN 9300 APPENDIX A.
ALL FLOOR DRAINS SHALL BE INDIVIDUALLY VENTED, AND ACCESSIBLE AND READILY CLEANED, AND SHALL BE LOCATED SO THAT THEY ARE EASILY VISIBLE.
ALL EXPOSED HOT WATER PIPING SHALL BE INSULATED FROM THE WATER HEATER TO THE FIXTURES WITH A MINIMUM THERMAL RESISTANCE (R-VALUE) OF R-3 INSULATION.

WATER SUPPLY FIXTURE UNIT CALCULATIONS

- (3) LAVATORY # 1 WSFU = 3 WSFU
- (3) TOILETS # 3 WSFU = 9 WSFU
- (1) KITCHEN SINK BASIN # 2 WSFU = 2 WSFU
- (2) SHOWER OR TUB # 2 WSFU = 4 WSFU
- (1) DISHWASHER # 1 WSFU = 1 WSFU
- (1) LT. SINK BASIN # 3 WSFU = 3 WSFU
- (1) WASHING MACHINE # 2 WSFU = 2 WSFU
- 24 WSFU = 1" SERVICE

ROOFER NOTE:

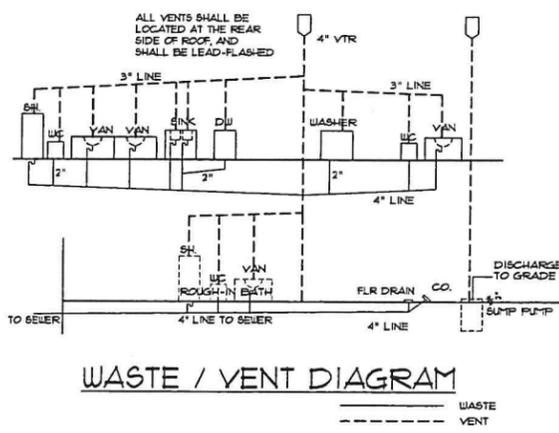
HOUSEWRAP ON WALLS MUST LAP OVER TOP OF CONCEALED FLASHING & ICE BARRIERS. THEREFORE, AT ALL ROOF/WALL CONVERGENCES, IT IS THE ROOFER'S RESPONSIBILITY TO CUT (IF NECESSARY) AND REFASTEN HOUSEWRAP ON WALLS SUCH THAT REQUIRED ICE BARRIERS FOR CONCEALED FLASHING CAN BE INSTALLED PROPERLY AGAINST WALL SHEATHING, AND LAP THE HOUSEWRAP OVER IN A "SHINGLE STYLE" EFFECT. IT IS ALSO THE ROOFER'S RESPONSIBILITY TO REPAIR HOUSEWRAP THAT WAS TORN OR CUT DURING INSTALLATION OF ROOFING MATERIALS, AND TO REFASTEN IT TO THE WALL SHEATHING. TAPE USED AT SEAMS MUST BE APPROVED FOR THAT HOUSEWRAP BY ITS MANUFACTURER.

ICE BARRIER:

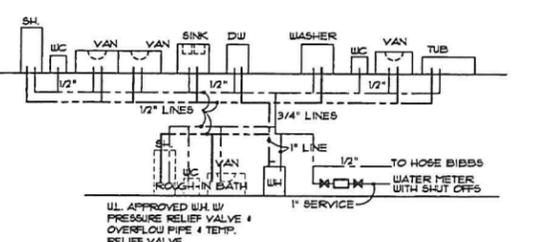
AN ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET SHALL BE USED IN LEAD OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24 INCHES (610 MM) INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. ICE BARRIERS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS NOT ONLY FROM THE LOWEST EDGES, BUT ALSO TO 24" OF EITHER SIDE OF ALL VALLEYS AND PITCH CHANGES OVER ENTIRE SURFACE OF ALL ROOFS PITCHED LESS THAN 4:12, AND OVER ALL BADDLES & CRACKS REGARDLESS OF PITCH. WHERE ROOF SURFACES RUN ADJACENT TO WALLS, ICE BARRIER MUST BE EXTENDED TO RUN CONTINUOUSLY FROM ROOF FACE UP WALL SHEATHING A MINIMUM OF 6" UNLESS NOTED OTHERWISE.

ATTIC VENTILATION:

WHEN DETERMINED BY THE BUILDING OFFICIAL DUE TO ATMOSPHERIC OR CLIMATIC CONDITIONS, ENCLOSED ATTICS AND RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1% OF THE AREA OF THE SPACE VENTILATED. EXCEPT THAT THE AREA MAY BE 1% TO 300% PROVIDED AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 34" ABOVE EAVE OR CORNICE VENTS. THE NET FREE CROSS-VENTILATION AREA MAY NOT BE LESS THAN 1% TO 300% OF THE AREA OF THE SPACE VENTILATED WHEN THE VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERH% IS INSTALLED ON THE WARM SIDE OF THE CEILING.



WASTE / VENT DIAGRAM



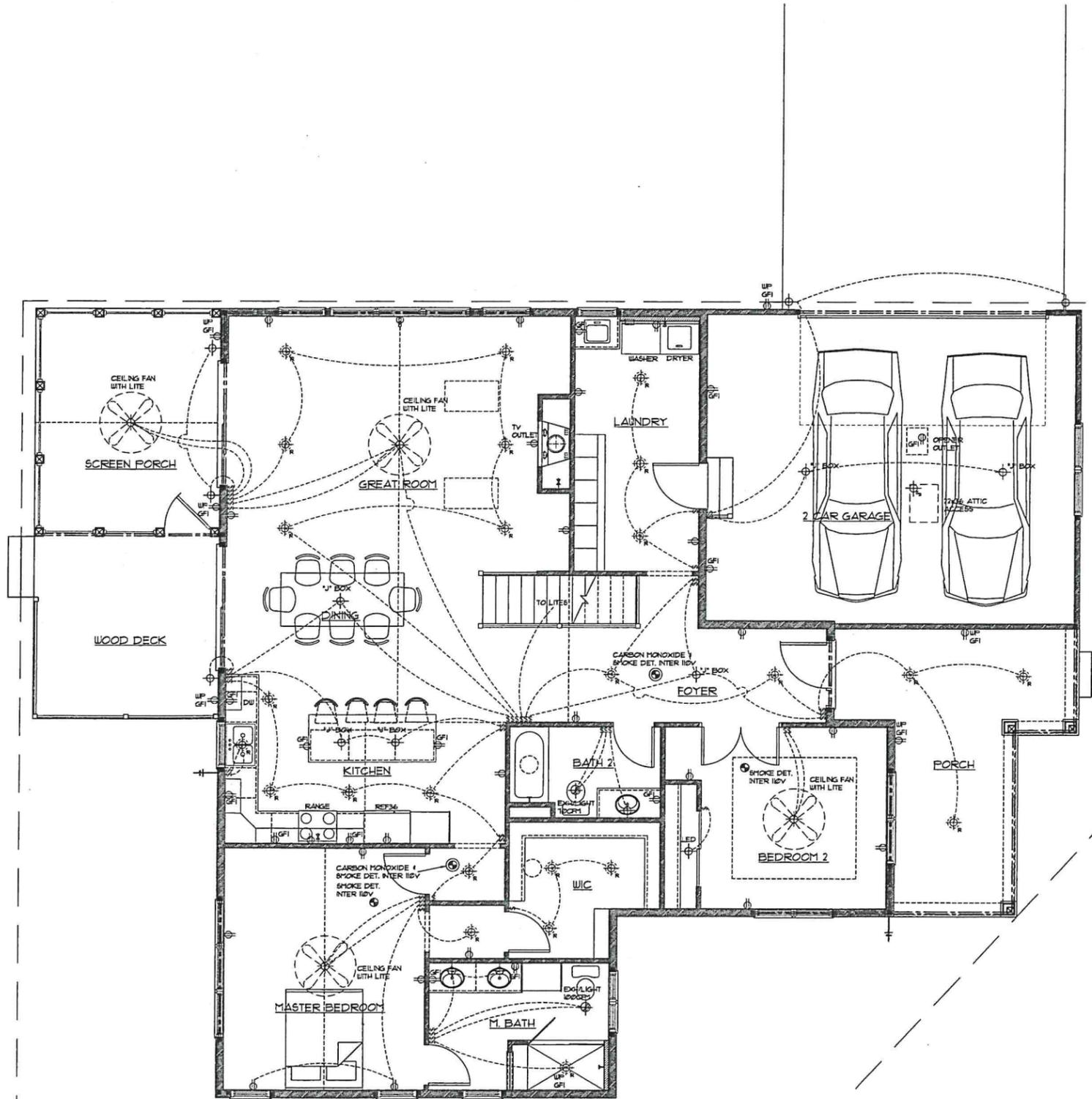
WATER SUPPLY DIAGRAM

ELECTRIC NOTE:
FIELD VERIFY 1% OF LUMINAIRES ARE ENERGY EFFICIENCY TYPE.
FIELD VERIFY A COMPLETED PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR IN THE ELECTRICAL PANEL BY THE BUILDER.
LOCAL INSPECTOR SHALL FIELD VERIFY ALL RECESSED LIGHTING INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE IC-RATED AND SEALED.
ALL RECEPTACLE OUTLETS SHALL BE TAMPER RESISTANT.
THE GARAGE DOOR OPENER, GARAGE LIGHTS, AND GARAGE RECEPTACLES SHALL BE ON SEPARATE CIRCUITS.
PROVIDE DOUBLE GROUND ROD SPACED A MINIMUM OF 6'-0" APART.
PROVIDE INTERSYSTEM BONDING PROVISIONS AT THE ELECTRICAL SERVICE.
A MINIMUM OF (3) 20 AMP APPLIANCE RECEPTACLES ARE REQUIRED AT THE KITCHEN COUNTERS.

CO & SMOKE DETECTOR NOTE:
ONE APPROVED CARBON MONOXIDE ALARM IN AN OPERATING CONDITION WITHIN 15 FEET OF EVERY ROOM USED FOR SLEEPING PURPOSES. THE CARBON MONOXIDE ALARM MAY BE COMBINED WITH SMOKE DETECTING DEVICES PROVIDED THAT THE COMBINED UNIT COMPLIES WITH THE RESPECTIVE PROVISIONS OF THE ADMINISTRATIVE CODE, REFERENCE STANDARDS, AND DEPARTMENTAL RULES RELATING TO BOTH SMOKE DETECTING DEVICES AND CARBON MONOXIDE ALARMS AND PROVIDED THAT THE COMBINED UNIT EMITS AN ALARM IN A MANNER THAT CLEARLY DIFFERENTIATES THE HAZARD. DETECTOR SHALL BE EITHER BATTERY POWERED, PLUG-IN WITH BATTERY BACK-UP, OR WIRED INTO THE STRUCTURE'S AC POWER LINE WITH SECONDARY BATTERY BACK-UP.
SMOKE DETECTORS IN ALL BEDROOMS SHALL BE ARC-FAULT RECEPTACLES.
CARBON MONOXIDE & SMOKE DETECTOR * CO
SMOKE DETECTOR * S.D.
ALL SMOKE DETECTORS & CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED 120V WITH BATTERY BACK-UPS.

ARC-FAULT NOTE:
ALL 120 VOLT, SINGLE PHASE, 15 AMP, AND 20 AMP ELECTRICAL RECEPTACLES, LIGHTING OUTLETS, AND SMOKE DETECTORS IN ALL ROOMS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

- ELECTRICAL KEY**
- DUPLEX CONVENIENCE OUTLET
 - WEATHERPROOF DUPLEX OUTLET
 - GROUND FAULT INTERRUPTER DUPLEX OUTLET
 - 20A 200V OUTLET
 - WALL SWITCH
 - CEILING MTD FIXTURE
 - WALL MTD INCANDESCENT FIXTURE
 - RECESSED INCANDESCENT FIXTURE
 - FLUORESCENT LIGHT FIXTURE
 - EXHAUST FAN
 - EXHAUST FAN LIGHT COMBINATION
 - ELECTRIC DOOR OPERATOR
 - SMOKE DET. INTER 120V
 - CARBON MONOXIDE & SMOKE DET. INTER 120V
 - CEILING FAN



ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

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DATE	REV#	DESCRIPTION OF REVISION
11-22-18	1	PRELIMINARY PLANS FOR REVIEW
12-11-18	2	REVISED PRELIMINARY PLANS
1-14-20	3	PROGRESS SET FOR REVIEW
2-11-20	4	FINAL PLANS FOR PERMIT

GENERAL NOTES

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION AND IN A PROFESSIONAL MANNER...

THE SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK AND NOTIFY THE SUPERINTENDENT AT ONCE OF ANY DISCREPANCIES PRIOR TO CONTINUING WORK...

DO NOT SCALE DRAWINGS FOR DIMENSIONS. NOTIFY THE ARCHITECT IF QUESTIONS ARISE. LOCATIONS AND ROUTING FOR ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK ARE TO BE COORDINATED BETWEEN TRADES AFFECTED BY THE WORK AS PART OF THEIR INSTALLATION LAYOUT...

EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC. AS REQUIRED TO COMPLETE THEIR WORK. EACH CONTRACTOR IS TO CLEAN CONSTRUCTION DEBRIS THROUGHOUT THE BUILDING SITE THAT HAS BEEN GENERATED BY THEIR SCOPE OF WORK.

SUB-CONTRACTORS SHALL ATEND AND MAKE GOOD AT THEIR OWN EXPENSE ANY DEFECTS OR FAILURES IN WORKMANSHIP CAUSED BY THEIR WORK FOR A PERIOD OF ONE YEAR FROM DATE OF OCCUPANCY.

THE ARCHITECT IS NOT SUPERVISING THE CONSTRUCTION OF THIS BUILDING. THE USE OF THESE DRAWINGS BY ANY CONTRACTOR, SUB-CONTRACTOR, BUILDER, TRADESMAN, OR WORKSMAN SHALL CONSTITUTE A HOLD HARMLESS AGREEMENT BETWEEN THE DRAWING USER AND THE ARCHITECT...

BUILDING OWNER OR OWNER'S REPRESENTATIVE TO REVIEW, COORDINATE AND APPROVE ALL WINDOW AND DOOR MANUFACTURERS, LOCATIONS, SIZES, AND FINISHES WITH CONTRACTOR'S PRIOR TO ORDERING MATERIALS OR START OF CONSTRUCTION.

DO NOT DRAIN DOWNSPOTS OR DRAINAGE LOCATIONS TO BE INSTALLED BY GUTTER CONTRACTOR, PER LOCAL CODES. DO NOT DRAIN DOWNSPOTS INTO BASEMENTS OR ATTICS.

ALL STRUCTURE TO REMAIN NEEDS TO BE PROPERLY BRACED PRIOR TO AND DURING DEMOLITION.

EXCAVATION & FOUNDATION NOTES

CLEAR SITE AS REQUIRED OF ALL EXISTING GROWTH AND VEGETATION, REMOVING ALL DEBRIS FROM SITE. STOCKPILE TOP SOIL ON SITE.

FINAL GRADE ENTIRE SITE WITH TOP SOIL FROM STOCKPILE. PROVIDE ADDITIONAL TOP SOIL AND FILL IF REQUIRED BY SITE ENGINEERING PLAN TO REACH FINISH GRADES.

ALL CONCRETE WORK SHALL COMPLY WITH CURRENT BUILDING CODES FOR REINFORCED CONCRETE CONSTRUCTION.

THE CONCRETE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR PRIOR TO WORK TO ENSURE PROPER LOCATIONS OF BELLIES AS REQUIRED FOR OTHER TRADES.

EXCAVATE TO DESIGN ELEVATIONS AS REQUIRED TO INSTALL NEW FOUNDATION. EXCAVATED AREAS TO REMAIN OPEN UNTIL INSPECTED. FOUNDATIONS TO BEAR ON UNDISTURBED SOIL OR APPROVED FILL HAVING A SAFE SOIL BEARING CAPACITY OF 2500 PSF.

IF REQUIRED, COMPACTED FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 9" IN THICKNESS AND SHALL BE OF AN APPROVED MATERIAL COMPACTED TO A MINIMUM OF 95% DRY DENSITY IN ACCORDANCE WITH ASTM D698.

GRADE CONDITIONS MAY VARY FROM THAT SHOWN CONTRACTOR TO VERIFY FOOTING DEPTHS WITH LOCAL Frost AND/OR EXISTING SOIL CONDITIONS, WHOEVER IS MORE RESTRICTIVE.

CONCRETE SHALL ACHIEVE 3000 PSI STRENGTH AT 28 DAYS. CONCRETE CONTRACTOR SHALL PROVIDE (3) TEST CYLINDERS FOR CONCRETE AND FOOTING POURS. CYLINDERS TO BE TESTED BY AN APPROVED TESTING AGENCY AT 7, 14, AND 28 DAYS.

THE CONCRETE CONTRACTOR SHALL INSTALL FOUNDATION REINFORCING, ANCHOR BOLTS, ETC. AS SPECIFIED IN THE DRAWINGS AND AS REQUIRED DUE TO THE PROGRESS OF THE WORK.

POUR ALL FOUNDATION WALLS MONOLITHICALLY OR PROVIDE ADEQUATE JOINT CONNECTION AND WATER STOP.

PROVIDE (2) 5" BARS AT TOP AND BOTTOM OF FOUNDATION WALLS OR AS SHOWN IN THE DRAWINGS. PROVIDE (3) 5" CORNER BARS AT EACH CORNER (24" LEGS).

THE CONCRETE CONTRACTOR SHALL INSTALL FLUID APPLIED ASPHALTIC DAMP-PROOFING AT ALL BASEMENT WALLS. DURING CONSTRUCTION ALL EXPOSED VERTICAL RE-BAR SHALL HAVE END PROTECTORS.

PROVIDE PRESSURE PRESERVATIVE TREATED WOOD NAILEDERS (USERS SHOWN IN ELEVATION TO FACILITATE SIDING INSTALLATION) TO EXTEND FROM THE TOP OF THE FOUNDATION WALL DOWN TO THE DEPTH INDICATED ON THE CORRESPONDING EXTERIOR ELEVATION.

EXCAVATING CONTRACTOR TO HAND DIG THE MATERIAL NEXT TO THE EXISTING FDN WALL AND FOOTING, TAKE CARE NOT TO DISTURB THE BENCHING FOR EXISTING FOOTINGS.

BACKFILLING NOTE: CONTRACTOR SHALL NOT BACKFILL UNTIL THE SLAB HAS BEEN POURED AND FLOOR DECK IS PLACED WITH SUBFLOOR AND JOISTS BOLTED TO THE FOUNDATION WALL. BACKFILLING MAY BE COMPLETED AFTER ALL FOUNDATION WALLS HAVE BEEN ADEQUATELY BRACED PER SITE AND SOIL CONDITIONS.

PROVIDE A SOIL TEST TO THE BUILDING INSPECTOR PRIOR TO POURING ANY CONCRETE. THE SOILS REPORT SHALL BE CONDUCTED BY AN APPROVED AGENCY AND APPROVED METHODS.

ROOF FRAMING

COLLAR TIES: MINIMUM SIZE: 1/2" OR 2x4 MAXIMUM SPACING: 48" OC. WHEN CEILING JOISTS DO NOT BEHAVE AS A TIE AT PLATE LINE OR ARE NOT BELOW THE LOWER THIRD OF RAFTERS, INSTALL CEILING JOISTS OR COLLAR BEAMS 1/2" SAME SIZE AS RAFTERS ON EACH PAIR OF RAFTERS, AND USE 6" SPACING, OR EQUAL, METAL ANGLE BRACKETS TO CONNECT RAFTER TO TOP PLATE.

RIDGE RAFTERS: A 2" INCH MEMBER WITH DEPTH NOT LESS THAN THE CUT END OF RAFTER. VALLEY RAFTERS: A MINIMUM THICKNESS: 2 INCHES, MINIMUM DEPTH: NOT LESS THAN CUT END OF JACK RAFTERS.

STAIRS: MAXIMUM RISER HEIGHT: 7-3/4". MINIMUM TREAD: 10". FOR UNDER THE STAIR TREAD SIZE SHALL BE 10" MEASURED AT 90 DEGREE FROM STAIR CONVERGENCE WITH A 6" MINIMUM TREAD SITE AT INSIDE STRINGER GUARDRAIL TO PREVENT THE PASSAGE OF A 4" DIAMETER SPHERE. BALUSTERS SPACED TO PREVENT THE PASSAGE OF A 4" DIAMETER SPHERE. STAIR CONSTRUCTION TO MEET ALL APPLICABLE CODE REQUIREMENTS.

FIRE SUPPRESSION SYSTEM NOTE (IF REQ'D): ALL NEWLY CONSTRUCTED SINGLE FAMILY AND TWO FAMILY DWELLING UNITS SHALL INSTALL AND MAINTAIN FULLY FUNCTIONAL AUTOMATIC FIRE SUPPRESSION SYSTEMS IN COMPLIANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION STANDARD (NFPA).

MAKE-UP WATER SUPPLY PIPE FEEDING THE FIRE STORAGE TANK SHALL HAVE A FIXED AIR GAP OR AN APPROVED TESTABLE DOUBLE CHECK VALVE INSTALLED IN-LINE AND SHALL BE LOCATED NO MORE THAN 3'-0" ABOVE THE FLOOR. THE DOUBLE CHECK VALVE BACKFLOW PREVENTED (DCV) ASSEMBLY SHALL BE TESTED AND APPROVED BY A CROSS CONNECTION CONTROL DEVICE INSPECTOR (CCDCI) BEFORE INITIAL OPERATION AND AT LEAST ANNUALLY THEREAFTER.

CARPENTRY NOTES

ALL 6" STRIPS GRADE FRAMING LUMBER SHALL CONFORM WITH RECOMMENDATIONS SET FORTH IN THE LATEST EDITION OF THE "NATIONAL GRADING AND INSPECTION REPORT". WOOD TO BE 1/2 OR BETTER 1/2" OR BETTER DOMESTIC ORIGIN. Fb = 2800 E = 1200000 PSI.

ENGINEERED WOOD PRODUCTS HAVE BEEN SPECIFIED BASED UPON "GEORGIA PACIFIC ENGINEERED LUMBER" MICROLAM'S Fb = 2800 PSI E = 1,000,000 PSI PARALLAM'S Fb = 2,850 PSI E = 2,000,000 PSI.

DESIGN LOADS ARE AS FOLLOWS: ROOF TRUSSES: 30 PSF TOP CHORD LL, 15 PSF TOP CHORD D.L., 40 PSF BOT. CHORD LL (+ ATTIC FLOOR), 2 PSF BOT. CHORD LL (TYP. NON-ACCESS), 1 PSF BOT. CHORD D.L.

FLOOR TRUSSES: 40 PSF LIVE LOAD, 10 PSF DEAD LOAD. WOOD GILL PLATES SHALL BE PRESURE PRESERVATIVE CCA TREATED.

ALL STRUCTURAL HEADERS ARE TO BE (2) 2X12'S WITH A 1/2" PLYWOOD BRACER UNLESS SHOWN OTHERWISE IN DRAWINGS. PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS AND PROVIDE SOLID BLOCKING UNDER ALL PARTITIONS PERPENDICULAR TO JOISTS.

PROVIDE DOUBLE JOISTS UNDER WATER HEATERS, WASHING MACHINE, DRYER, EDGE OF BATH TUBS, AND ALL STATUARY APPLIANCES. USE METAL CONNECTORS FOR CONNECTING FLUSH JOISTS TO HEADERS, 6" SPACING OR APPROVED EQUAL.

FIRE-STOP ALL FURRS, PARTITIONS, AND STUD WALLS AT BOTH FLOOR AND CEILING OF EACH FLOOR LEVEL AND AT JUNCTURE OF ROOF RAFTERS AND WALL. INSTALL METAL BOFFIT VENTS AND ROOF VENTS AS SHOWN ON THE DRAWINGS.

ALL CLOSETS MARKED LINEN AND PANTRY TO HAVE FIVE SHELVES - ENTRY, WARDROBE, AND WALK-IN CLOSETS TO HAVE ONE HANGER BAR AND ONE SHELF. INSTALL 1/2" APA RATED PLYWOOD SHEATHING AT CORNERS OF ALL EXTERIOR WALLS.

ALL CONCEALED FLASHING SHALL BE 26 GAUGE GALVANIZED SHEET METAL. INSULATE AND COVER WITH 1/2" EXT. GRADE PLYWOOD ANY CANTILEVERED FLOOR JOISTS.

PROVIDE ROUGH-IN OPENING FOR 1/4" X 18 1/4" MEDICINE CABINET. BOTTOM OF CABINET SHALL BE 52" AFF (TYPICAL IN FULL BATHS + MASTER BATHS). PROVIDE 3'-1" CLEAR FOR ALL STAIR CONSTRUCTION.

ALL CEDAR TO BE USED FOR EXTERIOR TRIM SHALL BE FACTORY PRE-PRIME. OTHERWISE, PRE-PRIME ALL CEDAR TRIM. ALL CUTS TO BE PRIME + CALKED BY CARPENTER. GABLE END TRUSSES ARE TO BE SHEATHED IN 1/2" SHEATHING BY MANUFACTURER. SEE DRAWINGS FOR SPECIFIC FIRE-RATED REQUIREMENTS.

THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE TRUSS TO SUBMIT CALCULATIONS AND LOADS TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION. ICE BARRIER NOTE: AN ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEINGED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET, SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT AND TO REINFORCE EXTERIOR WALLS TO BEAR ON UNDISTURBED SOIL OR APPROVED FILL.

EXTERIOR FLASHING TO BE CORRECTLY INSTALLED AT ALL JUNCTIONS BETWEEN ROOFS, WALLS, FIREPLACES AND PROJECTIONS, OR AS REQUIRED BY GOOD AND COMMON CONSTRUCTION PRACTICES. ROOFER NOTE: HOUSEWRAP ON WALLS MUST LAP OVER TOP OF CONCEALED FLASHING + ICE BARRIERS. THEREFORE AT ALL ROOF/WALL CONNECTIONS, IT IS THE ROOFER'S RESPONSIBILITY TO CUT (IF NECESSARY) AND UNFASTEN HOUSEWRAP ON WALLS SUCH THAT REQUIRED ICE BARRIERS + OR CONCEALED FLASHING CAN BE INSTALLED PROPERLY AGAINST WALL SHEATHING, AND LAP THE HOUSEWRAP OVER IN A "SHINGLE STYLE" EFFECT. IT IS ALSO THE ROOFER'S RESPONSIBILITY TO MAKE SURE THAT USE TORN OR CUT DURING INSTALLATION OF ROOFING MATERIALS, AND TO REFASTEN IT TO THE WALL SHEATHING. TAPE USED AT SEAMS MUST BE APPROVED FOR THAT HOUSEWRAP BY ITS MANUFACTURER.

ALL EXTERIOR PERIMETER CALLING SHALL BE WATER AND WEATHER TIGHT. ELASTIC CALLING COMPOUND SHALL BE NON-STAINING ACRYLIC OR BUTYL TYPE. COLOR SHALL MATCH ADJACENT SURFACES. INSTALL EXTERIOR WALL VAPOR BARRIER/HOUSEWRAP OVER EXTERIOR SHEATHING, TAPE ALL SEAMS USING MANUFACTURER APPROVED PRODUCTS.

PROVIDE ASPHALTIC DAMP-PROOFING AS INDICATED IN CONCRETE NOTES. PROVIDE MINIMUM 6 MIL POLYETHYLENE VAPOR BARRIER BELOW CONCRETE SLABS IN AREAS INDICATED IN THE DRAWINGS. LOCATE ABOVE REINFORCING AND SEAL ALL JOINTS PER MANUFACTURER'S RECOMMENDATIONS. TAKE CARE DURING CONCRETE PLACEMENT TO PREVENT FRACTURING THE VAPOR BARRIER.

PROVIDE FLASHING AT ALL TOP AND SIDES OF WINDOWS, DOORS, SILLS, AND ROOF VALLEYS. FLASH ALL GILL COPINGS AT HANGAR VEEBEN OPENINGS. PROVIDE PEEZE-PROOF HOSE BIBBS WITH VACUUM BREAKERS WHERE INDICATED ON DRAWINGS.

PROVIDE "GUT GREY BOX" AT CLOTHES WASHMACHINE LOCATION. PROVIDE A 1" AIR CHAMBER AT EVERY SHOWER AND A 2" AIR CHAMBER AT TOP OF RISERS. DO NOT INSTALL WATER SUPPLY LINES OR HORIZONTAL DRAIN LINES IN WALLS ADJACENT TO UNHEATED SPACES.

PRIOR TO USAGE, WATER PIPING SHALL BE DISINFECTED USING LIQUID CHLORINE THAT HAS A RESIDUAL LEVEL 20 PPM AFTER 24 HOURS. AFTER ACCEPTED, FLUSH SYSTEM UNTIL CHLORINE IS REMOVED. PLUMBING CONTRACTOR TO PROVIDE NECESSARY FILL DRAIN, AND TEST EQUIPMENT TO PERFORM THIS DISINFECTION.

EMERGENCY EGRESS OPENINGS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL BE AT LEAST 20" ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24", THE WIDTH SHALL BE 20". A GRADE FLOOR WINDOW MAY HAVE A NET CLEAR OPENING OF 5.7 SQ FT.

ATTIC VENTILATION NOTE: WHEN DETERMINED BY THE BUILDING OFFICIAL DUE TO ATMOSPHERIC OR CLIMATIC CONDITIONS, ENCLOSED ATTICS AND CROSS VENTILATION FOR EACH SEPARATE SPACE BY APPLIED OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. THE NET FREE VENTILATION AREA SHALL BE NOT LESS THAN 1% TO 30% OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE AREA MAY BE 1% TO 30%, PROVIDED AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATIONS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 36" ABOVE EAVE OR CORNICE. VENTILATIONS IN THE NET FREE CROSS-VENTILATION AREA MAY NOT BE LESS THAN 1% TO 30% OF THE AREA OF THE SPACE VENTILATED WHEN THE VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PER FT IS INSTALLED ON THE WARM SIDE OF THE CEILING.

RADON VENT NOTE (IF REQ'D): PROVIDE RADON VENT PIPE FROM CEILING THROUGH ROOF. 2" PIPE ELECTRICAL BOX IN ATTIC FOR FUTURE FAN. PROVIDE MIN. 3" PIPE LABELED "RADON REDUCTION SYSTEM". SUPPLY FIT TO BE SEALED, ALL CRACKS AND PERFORATION TO BE SEALED, LAP V'S UNDER SLAB 6" MIN. AT ALL SEAMS.

INSULATION NOTE: A PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL LISTING THE PREDOMINANT R-VALUES OF THE INSULATION INSTALLED.

CONTRACTOR RETAINS THE RIGHT TO LOCATE AND OR RELOCATE ANY MECHANICAL SYSTEMS AND INDIVIDUAL COMPONENTS OF SUCH SYSTEMS IN ACCORDANCE WITH ACCEPTABLE STANDARDS OF THE APPLICABLE BUILDING TRADES AS TO THE SAFETY AND EFFICIENCY OF OPERATION AS DETERMINED BY CONTRACTOR.

LOCATION OF MECHANICAL EQUIPMENT IS TO BE VERIFIED IN FIELD BASED UPON LAYOUT AND EQUIPMENT REQUIREMENTS. VERIFY EXACT LOCATIONS WITH BUILDER PRIOR TO INSTALLATION.

THE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. NOTIFY SUPERINTENDENT AND ARCHITECT IF DISCREPANCIES ARE FOUND. DO NOT PROCEED WITH THE WORK UNTIL ALL DISCREPANCIES ARE CORRECTED.

PENETRATIONS: PENETRATIONS BETWEEN STORES AND THE ROOF SHALL BE FIRE STOPPED AS WELL AS BOFFITS, DROPPED CEILING, ETC. PER ALL APPLICABLE CODE REQUIREMENTS.

LUMBER: 6" STRIPS GRADE LUMBER SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION. PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS, APPLIANCES AND TUBS, AND SOLID BLOCKING UNDER PERPENDICULAR PARTITIONS. ALL FLOOR TRUSS SYSTEMS TO BE DESIGNED BY MANUFACTURER.

FIREPLACE NOTES: FIREPLACE: BUILDER SHALL PROVIDE ALL COMPONENTS NECESSARY FOR A COMPLETE INSTALLATION INCLUDING FIREBOX, FLUE, OFFSETS, FLOOR/Ceilings FIRE-STOPPS, FLUE SPAK ARRESTORS, AND CHIMNEY SUPPORTS. PROVIDE NON-COMBUSTIBLE HEARTH 20" DEEP. HEARTH SHALL EXTEND 2" PAST EACH SIDE OF OPENING. VERIFY IN THE FIELD BY THE LOCAL INSPECTOR THAT THE MANUFACTURER'S INSTALLATION MANUALS FOR THE PRE-FABRICATED FIREPLACES WILL BE ON SITE AND AVAILABLE FOR REVIEW BY THE INSPECTOR AT THE TIME OF THE INSPECTION.

DOOR & WINDOW NOTES

SEE CARPENTRY NOTES FOR WINDOW MANUFACTURER'S. ALL GLAZING MUST MEET OR EXCEED ALL APPLICABLE CODE REQUIREMENTS. EXTERIOR ENTRANCE DOORS ARE TO BE PRE-FINISH WITH STANDARD WOOD FRAME. MANUFACTURER TO PROVIDE 1 1/2" HIGH ALUMINUM THRESHOLD AND WEATHERSTRIPPING. LOCK SETS AND LATCH SETS TO BE COORDINATED BY THE GENERAL CONTRACTOR. MATCH DOOR DESIGN SHOWN ON ELEVATION OR AS SELECTED BY THE OWNER.

INTERIOR DOORS TO BE SELECTED BY THE OWNER. BI-FOLD DOORS SHALL BE HOLLOW CORE TO MATCH PASSAGE DOORS. WINDOW DESIGNATION BASED ON GENERIC WINDOWS AND WILL INCLUDE SCREENS, AND ALL THE NECESSARY HARDWARE FOR OPERATION. GENERAL CONTRACTOR TO MAKE FINAL DETERMINATION OF WINDOW MANUFACTURER. SEE PLANS FOR WINDOW HEAD HEIGHTS.

FINISH NOTES: INSTALL TAPERED WALLBOARD WITH METAL CORNER BEADS. MACHINE TAPE ALL JOINTS. WALLBOARD SHALL BE ATTACHED ACCORDING TO MANUFACTURER'S INSTRUCTIONS. PATCH ALL SCREW HEADS AND LEAVE SURFACE FREE OF DEFECTS. USE FIRE-CODE WALLBOARD WHERE REQUIRED FOR FIRE-RATINGS AND PROVIDE WATER RESISTANT WALLBOARD AT ALL SET AREAS.

PROVIDE UNDERLAYMENT AT "HARD SURFACE" FLOOR FINISH AREAS. UNDERLAYMENT VARIES WITH FINISH. VERIFY WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION. CERAMIC TILE FLOORS, WALLS AND BASE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS AND IN ACCORDANCE WITH THE CERAMIC TILE ASSOCIATION'S RECOMMENDATION FOR EACH USE.

INTERIOR WALLS TO HAVE PRIME COAT PLUS ONE TOP COAT OF FLAT LATEX PAINT. INTERIOR DOORS, WINDOW, AND TRIM TO BE PAINTED, STAINED, OR SEALED AS SELECTED BY THE OWNER. ALL INTERIOR FINISHES TO BE SELECTED BY THE OWNER PRIOR TO CONSTRUCTION.

ELECTRICAL NOTES: THE ELECTRICAL CONTRACTOR(S) SHALL INCLUDE ALL NECESSARY LABOR, MATERIALS, EQUIPMENT, TOOLS, ETC. FOR THE INSTALLATION OF A COMPLETE AND OPERABLE ELECTRICAL SYSTEM. ELECTRICAL CONTRACTOR TO DETERMINE PANEL AND SERVICE SIZES BASED ON CONNECTED LOADS, DETERMINE CIRCUIT QUANTITIES AND SIZES, AND PROVIDE TYPED PANEL SCHEDULES.

THE ELECTRICAL CONTRACTOR SHALL INSTALL ALL WORK IN ACCORDANCE WITH ALL APPLICABLE STATE, LOCAL, AND NATIONAL CODES AND ORDINANCES. USE CONDUIT IN GROUND, EXPOSED TO WEATHER, IN SLABS ON GRADE, AND WHERE REQUIRED BY CODE. CONDUIT SHALL BE HOT-DIPPED GALVANIZED INTERMEDIATE METAL WITH WATERPROOF FITTINGS. CONDUIT AT OTHER LOCATIONS SHALL BE SET WITH CORROSION FITTINGS.

WIRE SHALL HAVE 600 V. INSULATION AND NOT BE LESS THAN #12 EXCEPT AT THE THERMOSTAT AND LOW VOLTAGE APPLICATIONS. WIRE SHALL BE COPPER UNLESS OTHERWISE NOTED. WIRE SHALL BE TYPE THN OR THHN FOR 1/2" AND LARGER. WIRE MUST BE COPPER, NO ALUMINUM OR COPPER CLAD WILL BE ALLOWED.

THE ELECTRICAL CONTRACTOR SHALL PROVIDE SWITCHED FIXTURES IN ALL ATTICS ABOVE THE ACCESS PANEL. THE ELECTRICAL CONTRACTOR SHALL PROVIDE GROUND FAULT PROTECTED GROUNDED OUTLETS WITHIN 6' OF ALL LAVATORIES, SINKS, SHOWER ENCLOSURES, "WET" LOCATIONS, AND AT EXTERIOR OUTLETS, AND GARAGES AS SHOWN ON DRAWINGS.

THE ELECTRICAL CONTRACTOR MUST PROVIDE DISCONNECTS AT ALL HARD-WIRED APPLIANCES AND AS REQUIRED BY CODE, SUCH AS FURNACES, AND CONDENSING UNITS. SHOCK DETECTORS SHALL BE UL APPROVED 120 VOLT INTERCONNECTED WITH BATTERY BACK-UP AS INDICATED IN THE DRAWINGS.

ALL OUTLET RECEPTACLES SHALL BE MOUNTED 8" AFF TO CENTER OF BOX, TYPICALLY, UNLESS NOTED OTHERWISE. ALL SWITCHES SHALL BE MOUNTED 48" AFF TO CENTER OF BOX. EXACT PLAN LOCATIONS MAY VARY DUE TO 6" STUD LAYOUT.

ALL ELECTRICAL DEVICES AND COVER-PLATES SHALL WHITE UNLESS OWNER SELECTS AN ALTERNATE. WIRE/POLE INSTALLATION TO FOLLOW ALL APPLICABLE CODE REQUIREMENTS. ALL CEILING FANS TO HAVE FAN APPROVED BOXES.

ALL REG. CANS OVER WET LOCATIONS SHALL BE APPROVED FOR WET LOCATIONS. DISHWASHER, RANGE EXHAUST HOOD AND GARBAGE DISPOSAL SHALL BE HARDWIRED. ALL ELECTRICAL RECEPTACLES IN ALL BEDROOMS SHALL BE ARC-FAULT RECEPTACLES.

PLUMBING NOTES: THE PLUMBING CONTRACTOR SHALL INCLUDE ALL NECESSARY LABOR, MATERIALS, AND EQUIPMENT REQUIRED FOR A COMPLETE AND OPERABLE INSTALLATION OF ALL WATER AND SEWAGE SYSTEMS. ALL SYSTEMS AND EQUIPMENT SHALL CONFORM TO APPLICABLE LOCAL, STATE, AND NATIONAL CODES.

FIXTURE AND EQUIPMENT CONNECTIONS SHALL BE MADE WITH CP SUPPLIES WITH STOPS. ALL WATER PIPES SHALL BE VALVED. EXPOSED WASTE PIPING SHALL BE CHROME PLATED. PROVIDE ESCUTCHEON PLATES AT ALL WALL PENETRATIONS AT ALL FINISHED AREAS.

WATER PIPING ABOVE GROUND SHALL BE 1/2" COPPER WITH LEAD-FREE JOINTS. WATER PIPING BELOW GROUND SHALL BE TYPE "K" COPPER WITH SILL FLORES BOLDER JOINTS OR CEMENT LITE DUCTILE IRON WITH FLUSH JOINTS.

SUSPENDED WASTE AND VENT PIPING SHALL BE CODE APPROVED MATERIALS AND FITTINGS. GAS PIPING SHALL BE BLACK STEEL WITH MALLEABLE FITTINGS. PROVIDE GAS COCK UNION AND DIRT LEG AT EACH CONNECTION. TEST GAS PIPING SYSTEM AT 25 PSI.

FLASH VENTS THROUGH ROOF WITH A 1/2" LEAD. INSULATE SUSPENDED HOT AND COLD WATER PIPING WITH 1/2" PIPE INSULATION. PROVIDE PEEZE-PROOF HOSE BIBBS WITH VACUUM BREAKERS WHERE INDICATED ON DRAWINGS.

PROVIDE "GUT GREY BOX" AT CLOTHES WASHMACHINE LOCATION. PROVIDE A 1" AIR CHAMBER AT EVERY SHOWER AND A 2" AIR CHAMBER AT TOP OF RISERS. DO NOT INSTALL WATER SUPPLY LINES OR HORIZONTAL DRAIN LINES IN WALLS ADJACENT TO UNHEATED SPACES.

PRIOR TO USAGE, WATER PIPING SHALL BE DISINFECTED USING LIQUID CHLORINE THAT HAS A RESIDUAL LEVEL 20 PPM AFTER 24 HOURS. AFTER ACCEPTED, FLUSH SYSTEM UNTIL CHLORINE IS REMOVED. PLUMBING CONTRACTOR TO PROVIDE NECESSARY FILL DRAIN, AND TEST EQUIPMENT TO PERFORM THIS DISINFECTION.

EMERGENCY EGRESS OPENINGS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL BE AT LEAST 20" ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24", THE WIDTH SHALL BE 20". A GRADE FLOOR WINDOW MAY HAVE A NET CLEAR OPENING OF 5.7 SQ FT.

ATTIC VENTILATION NOTE: WHEN DETERMINED BY THE BUILDING OFFICIAL DUE TO ATMOSPHERIC OR CLIMATIC CONDITIONS, ENCLOSED ATTICS AND CROSS VENTILATION FOR EACH SEPARATE SPACE BY APPLIED OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. THE NET FREE VENTILATION AREA SHALL BE NOT LESS THAN 1% TO 30% OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE AREA MAY BE 1% TO 30%, PROVIDED AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATIONS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 36" ABOVE EAVE OR CORNICE. VENTILATIONS IN THE NET FREE CROSS-VENTILATION AREA MAY NOT BE LESS THAN 1% TO 30% OF THE AREA OF THE SPACE VENTILATED WHEN THE VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PER FT IS INSTALLED ON THE WARM SIDE OF THE CEILING.

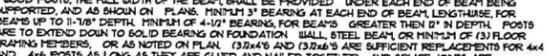
RADON VENT NOTE (IF REQ'D): PROVIDE RADON VENT PIPE FROM CEILING THROUGH ROOF. 2" PIPE ELECTRICAL BOX IN ATTIC FOR FUTURE FAN. PROVIDE MIN. 3" PIPE LABELED "RADON REDUCTION SYSTEM". SUPPLY FIT TO BE SEALED, ALL CRACKS AND PERFORATION TO BE SEALED, LAP V'S UNDER SLAB 6" MIN. AT ALL SEAMS.

INSULATION NOTE: A PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL LISTING THE PREDOMINANT R-VALUES OF THE INSULATION INSTALLED.

HEADERS

FOR ALL EXTERIOR MASONRY OPENINGS THE FOLLOWING LITTLE SIZES SHALL BE USED UNLESS NOTED OTHERWISE: 6"-0" TO 5'-0" OPENINGS: 1.5"x3'-1/2"x16" L.V. WITH 6" OF BEARING. 5'-0" TO 1'-0" OPENINGS: 1.5"x3'-1/2"x16" L.V. WITH 6" OF BEARING. 1'-0" AND GREATER: 1.6"x4'-5/8"x16" L.V. WITH 6" OF BEARING.

WOOD POSTS, THE FULL WIDTH OF THE BEAM, SHALL BE PROVIDED UNDER EACH END OF BEAM BEING SUPPORTED, AND AS SHOWN ON PLANS. MINIMUM 3" BEARING AT EACH END OF BEAM LENGTHWISE, FOR BEAMS UP TO 11'-18" DEPTH. MINIMUM OF 4-1/2" BEARINGS FOR BEAMS GREATER THAN 12" IN DEPTH. POSTS ARE TO EXTEND DOWN TO SOLID BEARING ON FOUNDATION. WALL, STEEL BEAM OR MINIMUM OF (3) FLOOR FRAMING MEMBERS, OR AS NOTED ON PLAN. (3.0"x4" AND (3.0"x6" ARE SUFFICIENT REPLACEMENTS FOR 4x4 AND 4x6 POSTS AS LONG AS THEY ARE GLUED AND NAILLED TOGETHER AND SPLICE JOINTS ARE STAGGERED EQUAL LENGTH OF POST, WITH (3) 1/2" LAG BOLTS AT 12" OC.



NON-LOAD BEARING HEADER DETAIL NO SCALE

DESIGN CRITERIA: FLOOR: 40' LL 10' DL, 30' LL 10' DL. ALL AREAS EXCEPT SLEEPING AREAS. WALL: 60' PLF OR ACTUAL LOAD. CEILING: 20' LL 10' DL. ROOF SLOPES OVER 3 IN 12. ROOF: 30' LL 10' DL, CATHEDRAL: 30' LL 10' DL. ALL SLOPES. EXT DECK: 60' LL 10' DL. BALCONY: 60' LL 10' DL. EXTERIOR.

STRUCTURAL FRAMING LUMBER: FLOOR JOISTS, CEILING JOISTS, HEADERS AND RAFTERS. IN-GRADE BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE).

Table with columns for Joist Size, SFF, Repetitive Fb, and Fb. Includes rows for 1 1/2" Hem/Fir (North) and 2" SFF (South).

STUDS: ALL 2x4'S AND 2x6'S. IN-GRADE BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE).

Table with columns for Manufacturer, Product, Size, and Fb. Includes rows for Trus Joist Weyerhaeuser, Parallam, Microllam LVL, and Timberstrand.

SPECIFY MANUFACTURER AND NAME OF SPECIFIC BEAM PRODUCT WITH THE CURRENT SIZE, Fb AND E VALUES PER MANUFACTURER.

TRUS JOIST WEYERHAEUSER: VARIES, 2900 PSI, 20 EX10 6 PSI. TRUS JOIST WEYERHAEUSER: VARIES, 2600 PSI, 19 EX10 6 PSI.

TRUS JOIST WEYERHAEUSER: VARIES, 1700 PSI, 13 EX10 6 PSI. SPECIFY MANUFACTURER OF SPECIFIC I-JOISTS PRODUCT WITH SERIES NUMBER AND SIZE OF JOIST PER MANUFACTURER.

TRUS JOIST WEYERHAEUSER: VARIES, VARIES. FOLLOW MANUFACTURER'S NAILING SCHEDULE UP TO (3) MICROLAM'S, BOLTED WITH (4) MEMBERS.

HEATING, COOLING AND VENTILATION NOTES

THE HEATING AND AIR CONDITIONING SYSTEM SHALL BE DESIGNED TO OPERATE AND MAINTAIN TO DEG. F. INSIDE WITH +10 DEG. F. OUTSIDE AND 15 DEG. F. INSIDE WHEN 55 DEG. F. OUTSIDE.

THE HVAC CONTRACTOR SHALL PROVIDE A COMPLETE AND OPERATING SYSTEM CONSISTING OF BUT NOT NECESSARILY LIMITED TO A GAS-FIRED FORCED AIR FURNACE, A/C CONDENSING UNIT, 1/4" COL. FANS, DUCTWORK, THERMOSTATS, REGISTERS, ETC.

PROVIDE RIGID SHEET METAL DUCTWORK WITH INDIVIDUAL MANUAL VOLUME DAMPERS. LOCATE AND BALANCE ALL REGISTERS TO PROVIDE EVEN DISTRIBUTION OF HEATING AND COOLING. DRYER EXHAUST SHALL BE DUCTED TO EXTERIOR WITH SUITABLE CAP AND BACK-DRAFT DAMPER.

RANGE VENT EXHAUST SHALL BE DUCTED TO THE EXTERIOR WITH THE REQUIRED SUITABLE CAP. SUPPLY DUCTS SHALL BE SIZED, DESIGNED AND CONSTRUCTED BY THE HVAC CONTRACTOR IN ACCORDANCE WITH THE MOST RECENT ASHRAE GUIDELINES.

COMBUSTION AIR INTAKES SHALL BE INSTALLED FOR FURNACE AND WATER HEATER IN ACCORDANCE WITH CLASS 1B VENTS TO HAVE MINIMUM CLEARANCE TO ALL COMBUSTIBLE MATERIALS AND BE FIRE-STOPPED AT FLOOR OR CEILING BIDE.

ALL SUPPLY DUCTS IN UNHEATED SPACES SHALL BE INSULATED WITH 3/4" THICK FIBERGLASS INSULATION OR APPROVED EQUAL. INSTALL INSULATION ON EXTERIOR OF DUCTWORK.

ADEQUATE SUPPLY OF COMBUSTION AIR SHALL BE PROVIDED FOR ALL GAS APPLIANCES IN ACCORDANCE WITH FRB'S SPECIFICATIONS AND 202 IRC.

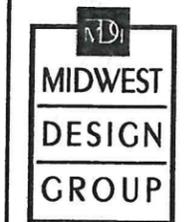
LOCAL INSPECTOR SHALL FIELD VERIFY, RANGE EXHAUST HOOD IS TO BE PROVIDED IN KITCHEN DETAIL. MEANS OF MAKEUP-AIR AND LOCATION OF EXHAUST VENTING SHALL BE VENTED DIRECTLY TO THE EXTERIOR.

THE DRYER DUCT TERMINATION AND CONCEALED DUCT SHALL BE LABELED OR TAGGED WITH ITS EQUIVALENT LENGTH WITHIN 6'-0" OF THE EXHAUST DUCT CONNECTION. IF THE DRYER IS NOT INSTALLED AT OCCUPANCY THEN THE EXHAUST DUCT SHALL BE CAPPED OR PLUGGED AND IDENTIFIED AND MARKED FUTURE USE.

LOCAL INSPECTOR SHALL FIELD VERIFY THE DUCT FOR LEAK TIGHTNESS. TESTING SHALL BE DONE AND DOCUMENTED PRIOR TO CALLING FOR THE FINAL INSPECTION SO THE FIELD INSPECTOR CAN CONCLUDE THE INSPECTION WITHOUT WAITING FOR DOCUMENTATION TO COLLECT.

CARBON MONOXIDE DETECTOR NOTE:

ONE APPROVED CARBON MONOXIDE ALARM IN AN OPERATING CONDITION WITHIN 5 FEET OF EVERY ROOM USED FOR SLEEPING PURPOSES. THE CARBON MONOXIDE ALARM MUST BE CERTIFIED WITH SMOKE DETECTING DEVICES PROVIDED THAT THE COMBINED UNIT COMPLIES WITH THE RESPECTIVE PROVISIONS OF THE APPLICABLE CODE, REFERENCED STANDARDS, AND DEPARTMENTAL RULES RELATIVE TO BOTH SMOKE DETECTING DEVICES AND CARBON MONOXIDE ALARMS AND PROVIDED THAT THE COMBINED UNIT THAT CLEARLY IDENTIFIES THE HAZARD, DIFFERENTIATES THE HAZARD, DETECTOR SHALL BE EITHER BATTERY POWERED, PLUG-IN WITH BATTERY BACK-UP, OR WIRED INTO THE STRUCTURE'S AC POWER LINE WITH SECONDARY BATTERY BACK-UP.



DESIGNERS: HUNTLEY, IL, 60142. OFFICE: 224-530-3838. EMAIL: ADAM.MDG@GMAIL.COM. PROFESSIONAL DESIGN FIRM LICENSE# 184-00261.

FAIRWYN HOMES: 875 TOWNLINE ROAD, SUITE 103, LAKE GENEVA, WI 53147. P: 262-248-5010.

SINGLE FAMILY HOME FOR: THE ESARCO RESIDENCE. LOT 27 PINE TREE LANE, LAKE GENEVA WI 53147.

Table with columns for DATE, REV, and DESCRIPTION OF REVISION. Includes rows for Preliminary Plans for Review, Progress Set for Review, and Final Plans for Permit.

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: April 20, 2020

Agenda Item: 10

Applicant:

Bruce & Sarah Gold,
2910 Kingston Dr.
Buffalo Grove, IL 60089

Request: Conditional Use Permit

New addition to the Single Family Residence
10 Hillside Dr. Estate Residential (ER-1)
Tax Key No. ZLM00033

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) that would allow for construction of a new addition to the single family residence located in the Estate Residential (ER-1) zoning district utilizing the Single-Family Residential – 4 (SR-4) zoning.

Project Details from CUP Submittal

The proposed project submittal meets or exceeds all requirements of the Zoning Ordinance.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
- a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance,

and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

- c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

- e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

10 Hillside Drive/ ZLM 00033 LOT 14 BLK 15 EXC BEG 15' NE OF SLY COR LOT 14, NW TO NLY COR LOT

12, SELY TO COR LOT 12 NE 15' TO POB LAKE GENEVA MANOR (TRACT #17) CITY OF LAKE GENEVA

Name and Address of Current Owner:

Bruce & Sarah Gold

2910 Kingston Dr Buffalo Grove, IL 60089

Telephone No. with area code & Email of Current Owner: 847-456-2669

bruce@americannationalco.com

Name and Address of Applicant:

Jacob Addis

44 N Western Ave Carpentersville, IL 60110

Telephone No. with area code & Email of Applicant: 815-289-7274

jacob @doomisbuilders.com

Proposed Conditional Use: Exterior re-construction and expansion of rear screened porch
pursuant to City of Lake Geneva Zoning Code 98.407 (3)

Zoning District in which land is located: ES-1

Names and Addresses of architect, professional engineer and contractor of project:

Jacob Addis, Architect

44 N Western Ave Carpentersville, IL 60110

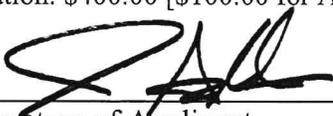
Short statement describing activities to take place on site:

Partial interior renovation and restoration, new roofing, demolition of deteriorated rear screen
porch and re-construction with expanded footprint to allow conditioned living space

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

2-24-20

Date


Signature of Applicant

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ ___ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator) Date: _____ by: _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: _____ by: _____



___ (a) **A map of the proposed conditional use:**

- ___ Showing all lands for which the conditional use is proposed;
- ___ Showing all other lands within 300 feet of the boundaries of the subject property;
- ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- ___ All lot dimensions of the subject property provided;
- ___ Graphic scale and north arrow provided.

___ (b) **A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**

- _____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed conditional use:
 - _____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. *(See below)*

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?
The conditional use is aligned to the Comprehensive Master Plan and Zoning Ordinance by creating an increase in public health, safety, morals, comfort, convenience and general welfare to its occupants.

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?
This project is aligned with the purpose and goals of the City's Zoning Ordinance by promoting general health, safety, light and air to its occupants while maintaining compliance with current lot area setbacks, land area use, and maintaining the goals of the Comprehensive Master Plan.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?
The building expansion is minimally impactful to the adjacent properties given the existing structure location and has no impact on the neighborhood, environment, traffic, public improvements or property as the project is not visible from the street and will be a replacement to the existing structure.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?
The project maintains land use and impacts, same as the existing structure to be replaced, and is in alignment with the Architectural characteristics of the surrounding neighboring structures.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

There will be no change in land use, utilities, or public services.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

The project would increase the goals, purpose and objective of the City's Comprehensive Master Plan and Zoning Ordinance.

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

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___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ ___ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator) Date: _____ by: _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: _____ by: _____

↓

___ (a) A **written description** of the intended use describing in reasonable detail the:

- ___ Existing zoning district(s) (and proposed zoning district(s) if different);
- ___ Land use plan map designation(s);
- ___ Current land uses present on the subject property;
- ___ Proposed land uses for the subject property (per Section 98-206);
- ___ Projected number of residents, employees, and daily customers;
- ___ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
- ___ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

- _____ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- _____ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- _____ Exterior building and fencing materials (Sections 98-718 and 98-720);
- _____ Possible future expansion and related implications for points above;
- _____ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

_____ (b) **A Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

_____ (c) **A Property Site Plan drawing** which includes:

- _____ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- _____ The date of the original plan and the latest date of revision to the plan;
- _____ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- _____ A reduction of the drawing at 11" x 17";
- _____ A legal description of the subject property;
- _____ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- _____ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- _____ All required building setback lines;
- _____ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- _____ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- _____ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- _____ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- _____ The location of all outdoor storage areas and the design of all screening devices;
- _____ The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;
- _____ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- _____ All engineering requirements for utilities, site designs, etc;
- _____ The location and type of any permanently protected green space areas;
- _____ The location of existing and proposed drainage facilities for storm water;

_____ In the legend, data for the subject property on:

- _____ Lot Area;
- _____ Floor Area;
- _____ Floor Area Ratio (b/a);
- _____ Impervious Surface Area;
- _____ Impervious Surface Ratio (d/a);
- _____ Building Height.

_____ (d) **A Detailed Landscaping Plan of the subject property:**

- _____ Scale same as main plan (> or equal to 1" equals 100')
- _____ Map reduction at 11" x 17"
- _____ Showing the location of all required buffer yard and landscaping areas
- _____ Showing existing and proposed Landscape Point fencing
- _____ Showing berm options for meeting said requirements
- _____ Demonstrating complete compliance with the requirements of Article VI
- _____ Providing individual plant locations and species, fencing types and heights, and berm heights;

_____ (e) **A Grading and Erosion Control Plan:**

- _____ Same scale as the main plan (> or equal to 1" equals 100')
- _____ Map reduction at 11" x 17"
- _____ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

_____ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**

- _____ Showing finished exterior treatment;
- _____ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- _____ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III.FINAL APPLICATION PACKET INFORMATION

_____ Receipt of 5 full scale copies in blue line or black line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

_____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

_____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

Development Review Committee (DRC) Application

Complete as much detailed information as possible to allow for a comprehensive departmental review prior to a Development Review Committee meeting. This application must be returned to the Building Inspector, with all conceptual plans, designs and other information prior to the scheduling a DRC meeting.

Applicant Information

Property Address 10 Hillside Drive
Applicant name Jacob Addis
Applicant email Jacob@doomisbuilders.com Phone Number 815-289-7274

Architect/Contractor/Designer Name Jacob Addis
Architect/Contractor/Designer Email Jacob@doomisbuilders.com Phone Number 815-289-7274

Type of Construction: New _____ Addition X Remodel X
Type of Development: Single-family X Multi-family _____ Commercial _____ Industrial _____
Type of Business _____

Engineering

Site Plans should include the following: Project title and owner's/developer's name and address noted, architect's and/or engineer's name and address noted, property boundaries and dimensions, abutting property zoning classifications, general description of building materials, façade and roof detail, setback lines indicated, easements for access, if any, 100-year floodplain identification, existing and proposed topography shown at a contour interval of one foot, indicating proposed grade and location of improvements, signage and outdoor lighting, number of parking spaces provided, type, size and location of all structures with all building dimensions shown, location of existing and general location of proposed sanitary sewers, storm sewers, water-mains, and any proposed stormwater management facilities, location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening, location of pedestrian sidewalks and walkways, graphic outline of any development staging that is planned, driveway locations and sizes, handicap accessibility, environmental concerns (odor, smoke, noise, graphic scale and north arrow.

- Storm water management provisions provided? YES / NO
 - As-built/certification notification
- Erosion control plan provided? YES / NO
- Wetlands, floodplains, environmental corridors, groundwater Identified. YES / NO
- Utility Plans Provided
 - Watermain
 - Sanitary Sewer
 - Storm Water
- Is a Land Division required? YES / NO
- Access points and dimensions shown? YES / NO
 - WISDOT Right-of-way?
 - County Right-of-way?
- Estimated Traffic impacts _____
 - Traffic Study Required YES/NO
 - Traffic Control Plan Required YES/NO
 - Will construction affect street parking or intersections? YES / NO

- Paving Materials, Typical Sections? YES / NO
- WDNR Notice of Intent required? (Land disturbance more than 1 acre)? YES / NO
- Watermain extension required? YES / NO
- Sanitary sewer extension required? YES / NO
- SEWRPC Service Area Amendment needed? YES / NO
- Is a Chapter 30 Permit (wetland/waterway) required? YES / NO
- Proposed building/expansion dimensions 15'x 16' _____
- Will there be signage? YES / NO type (mounted, freestanding) _____
- Exterior lighting plans? YES / NO
- What kind of noise or level of noise will the business have? - _____
- Detailed property Site Plan? YES / NO Date of Plan: _____
- Green Space Calculations (Existing vs. Proposed) YES / NO
- Are landscape plans provided? YES / NO
- Is a Land Division required? YES / NO

Water/Sewer Utilities

If an existing structure please circle the following:

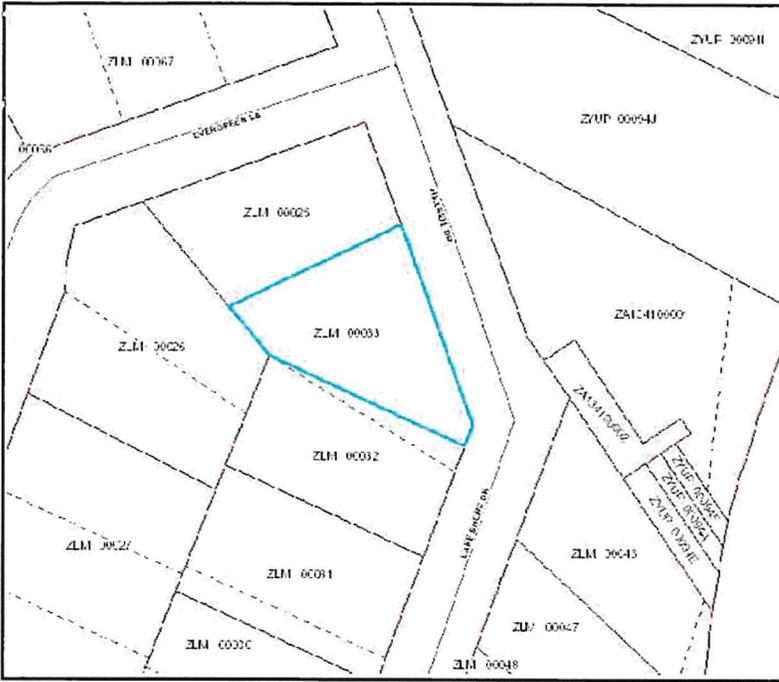
- Will existing sewer & water connections be used? YES / NO
- Will your project require the installation of a grease interceptor? YES / NO

If the development is Commercial or Industrial, please provide the following:

- Water service size requirement _____
- Estimated daily water usage in gallons per day _____
- Estimated maximum water flow in gallons per minute _____
- Number of bathrooms _____
- Brief description of process (if Industrial) _____

If the development is a multi-family dwelling, please provide the following:

- Number of units _____
- Number of bedrooms in each unit _____
- Water service size requirement _____



Walworth County, WI Land Information Division

Property Details

Municipality: CITY OF LAKE GENEVA
 Parcel Number: ZLM 00033
 School District: 2884-LAKE GENEVA-GENOA CITY U
 Zoning District:

Owner Information

Owner Name: BRUCE GOLD
 Owner Name 2: SARAH GOLD
 Mailing Address: 2901 KINGSTON DR

BUFFALO GROVE IL, 60089

2019 Valuation Information

Land: \$223,900.00
 Improvements: \$262,100.00
 Total: \$486,000.00
 Acres: 0.1800
 Fair Market Value: \$509,900.00
 Assessment Ratio: 0.9531649760
 Mill Rate: 0.0192835310

Tax Information

First Dollar Credit: \$75.11	School Credit: \$1,020.24
Special Assessment: \$0.00	Lottery Credit: \$0.00
Delinquent Utility Charge: \$0.00	Special Charges: \$0.00
Managed Forest Land Taxes: \$0.00	Private Forest Crop Taxes: \$0.00
Total Billed: \$9,296.69	Woodland Tax Law Taxes: \$0.00
Net Tax: \$9,296.69	

Tax Jurisdictions

STATE OF WISCONSIN \$0.00
 CITY OF LAKE GENEVA \$2635.83
 GATEWAY TECHNICAL \$408.57
 WALWORTH COUNTY \$1931.89
 LAKE GENEVA J1 SCHOOL DIST \$2668.82
 LAKE GENEVA-GENOA CITY UHS \$1726.69

Elected Officials / Voting Districts

Supervisory District: Nancy Russell (D11)
 State Representative: Tyler August (R) (Wisconsin's 32nd Assembly District)
 State Senator: Stephen Nass (R) (Wisconsin's 11th Senate District)
 US Representative: Bryan Steil (R) (Wisconsin's 1st District)
 US Senator: Johnson, Ron

Special Assessments / Charges

Soil Classification

<u>Soil Type</u>	<u>Soil Name</u>	<u>Acres</u>
MyB	MIAMI SILT LOAM, 2 TO 6 PERCENT SLOPES	0.1837

Property Address

10 HILLSIDE DR LAKE GENEVA

Legal Description

LOT 14 BLK 15 EXC BEG 15' NE OF SLY COR LOT 14, NW TO NLY COR LOT 12, SELY TO COR LOT 12 NE 15' TO POB LAKE GENEVA MANOR (TRACT #17)
 CITY OF LAKE GENEVA

Disclaimer

The information provided in this property information page is not official information. All official tax information is recorded in the Walworth County Treasurer's Office. To verify tax payment/payoff status, contact the Walworth County Treasurer's Office at 262-741-4251.

Project Description

The proposed conditional land use of this project at 10 Hillside Drive would remain the same as the existing. The project includes an interior renovation and reconstruction/ expansion of a deteriorated screened porch in the rear of the structure to allow the space to be conditioned living area. The expansion is located and designed in such a way to follow and maintain compliance with current property setback regulations, land use, land coverage area of the City of Lake Geneva Zoning Code.

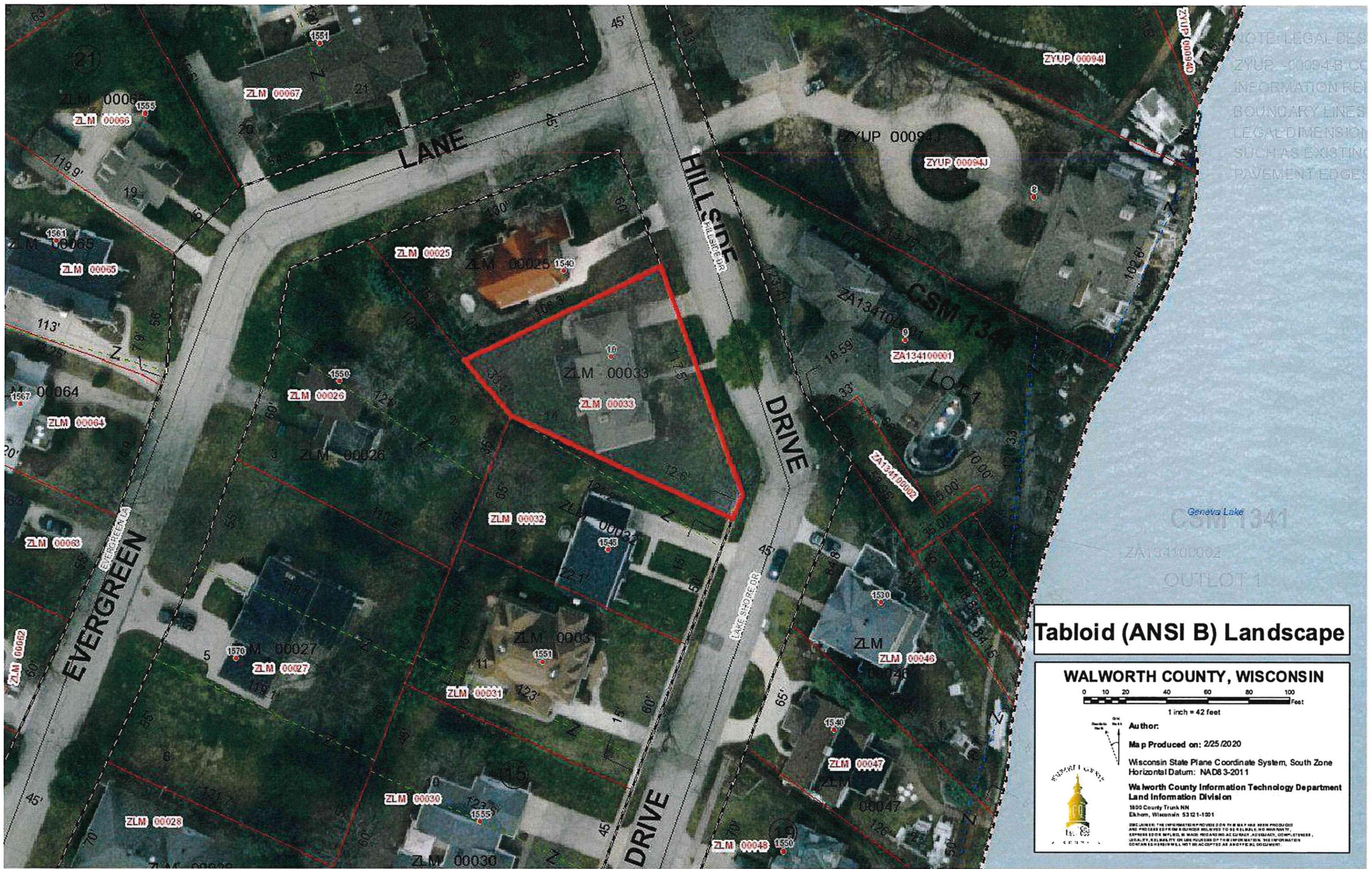
As stated in Section 98-408 (6), Alterations may be made to a lawful nonconforming residential unit, provided such alterations do not increase the number of dwelling units or the bulk of the building. It further states that non-conforming structures shall not be permitted to enlarge, expand, or extend without bringing the enlargement, expansion or extension into compliance with the provisions of this article. This extension of the existing screened porch area does not increase the number of dwelling units and is in compliance with the City of Lake Geneva Zoning Code.

This projects property is considered substandard being under 40,000 sf in area and is being presented for approval under section 98-407 (3). Existing legal lots of record that are now substandard in any way, and that are zoned ER-1 shall be considered as legal substandard lots. For new dwellings or building additions on such lots, a Conditional Use Permit may be sought to enable the granting of permission to use the lot width, lot frontage, lot area and setback requirements of the SR-4 District. (Section 98-905 for Conditional Use procedures). For this particular type of Conditional Use Permit request, a fee of \$100.00 shall be imposed. (Ord. No. 98-1 2/9/98) (Ord. No. 16-11)

Project Justification

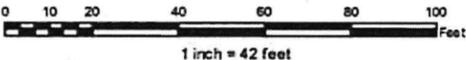
The project at 10 Hillside Drive includes a partial interior renovation and the re-construction/ extension of a deteriorated screened porch area. Since the screened porch has such level of deterioration, maintenance or rejuvenation efforts would render noneffective in being that replacement cost are nearly comparable. For the cost of new construction, the value would far outweigh restoration efforts in terms of longevity and maintenance cost in the long term. Since the structure warrants replacement, the occupants would benefit from the space being conditioned living space to capture the area's view, light, and air to the exterior of the home overall increasing the health, comfort, convenience and general welfare to the occupants. This aligns in parallel to the Lake Geneva Comprehensive Masterplan and Zoning Code, particularly section 98-005 (2) & (3) describing the purpose and intent of the code.

In addition, 98-105 (b) 1. Description and purpose of Estate-1 district is to, among others, ensure and maintain the architectural characteristics of the neighborhood. This reconstruction and expansion would align with other structures on adjacent or nearby properties which follow the same architectural elements and characteristics such as enclosed conditioned area porches, screened porches and expanded living areas.



Tabloid (ANSI B) Landscape

WALWORTH COUNTY, WISCONSIN

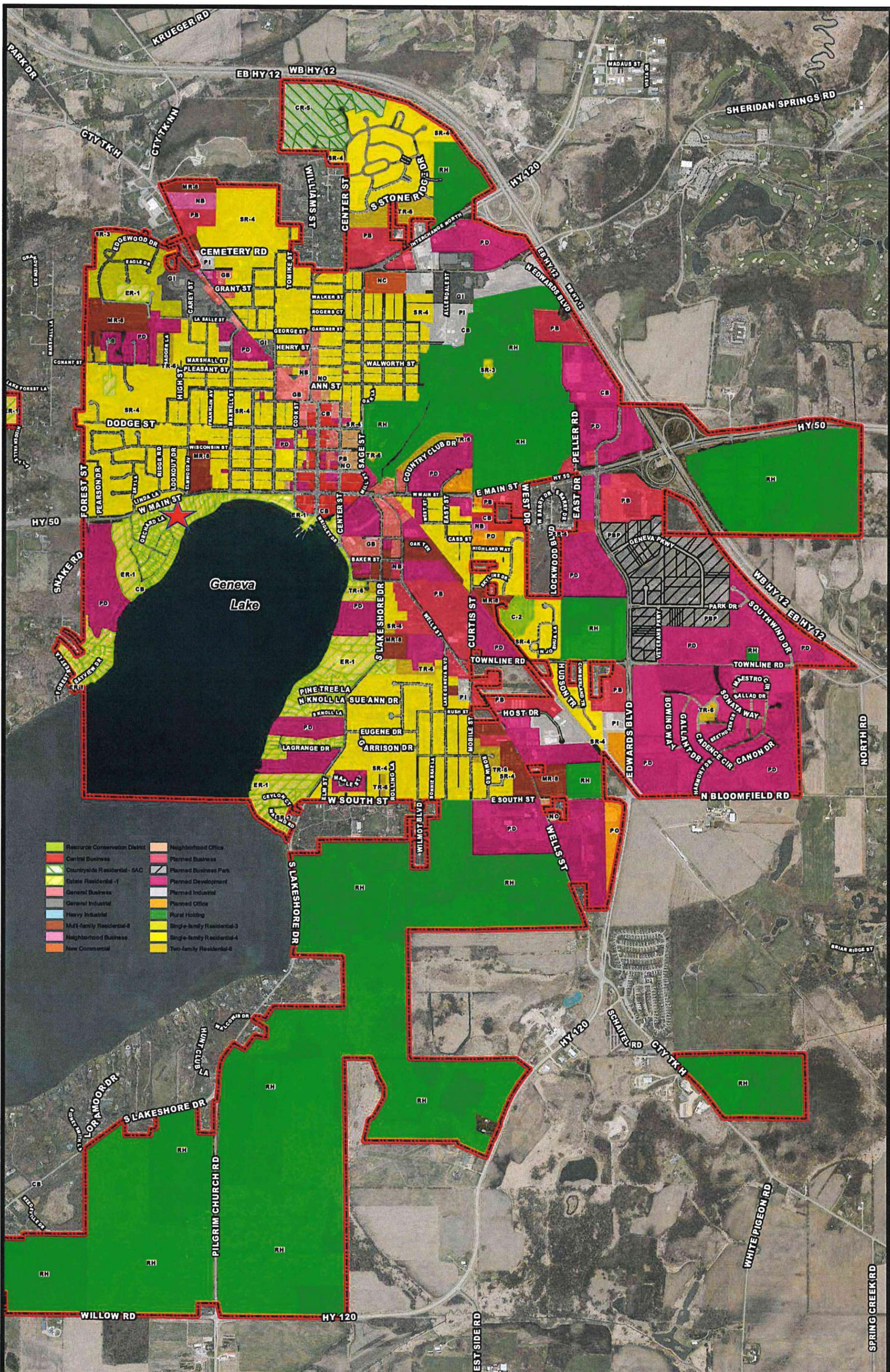


Author:
 Map Produced on: 2/25/2020
 Wisconsin State Plane Coordinate System, South Zone
 Horizontal Datum: NAD83-2011



**Walworth County Information Technology Department
 Land Information Division**
 1800 County Trunk NN
 Elkhorn, Wisconsin 53121-1001

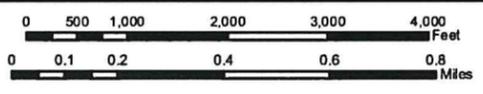
DISCLAIMER: THE INFORMATION PROVIDED FOR THIS MAP WAS FROM PUBLIC RECORDS AND FIELD SURVEY DATA. WALWORTH COUNTY MAKES NO WARRANTY, EXPRESS OR IMPLIED, AS TO THE ACCURACY, COMPLETENESS, QUALITY, OR RELIABILITY OF THE INFORMATION. THE INFORMATION CONTAINED HEREIN WILL NOT BE ACCEPTED AS AN OFFICIAL DOCUMENT.



- | | | | |
|--|--------------------------------|--|-----------------------------|
| | Resource Conservation District | | Neighborhood Office |
| | Central Business | | Planned Business |
| | Countryside Residential - SAC | | Planned Business Park |
| | Estate Residential - 1 | | Planned Development |
| | General Business | | Planned Industrial |
| | General Industrial | | Planned Office |
| | Heavy Industrial | | Rural Holding |
| | Multi-family Residential-3 | | Single-family Residential-3 |
| | Neighborhood Business | | Single-family Residential-4 |
| | New Commercial | | Two-family Residential-5 |



City of Lake Geneva
Zoning Map on Aerial Background



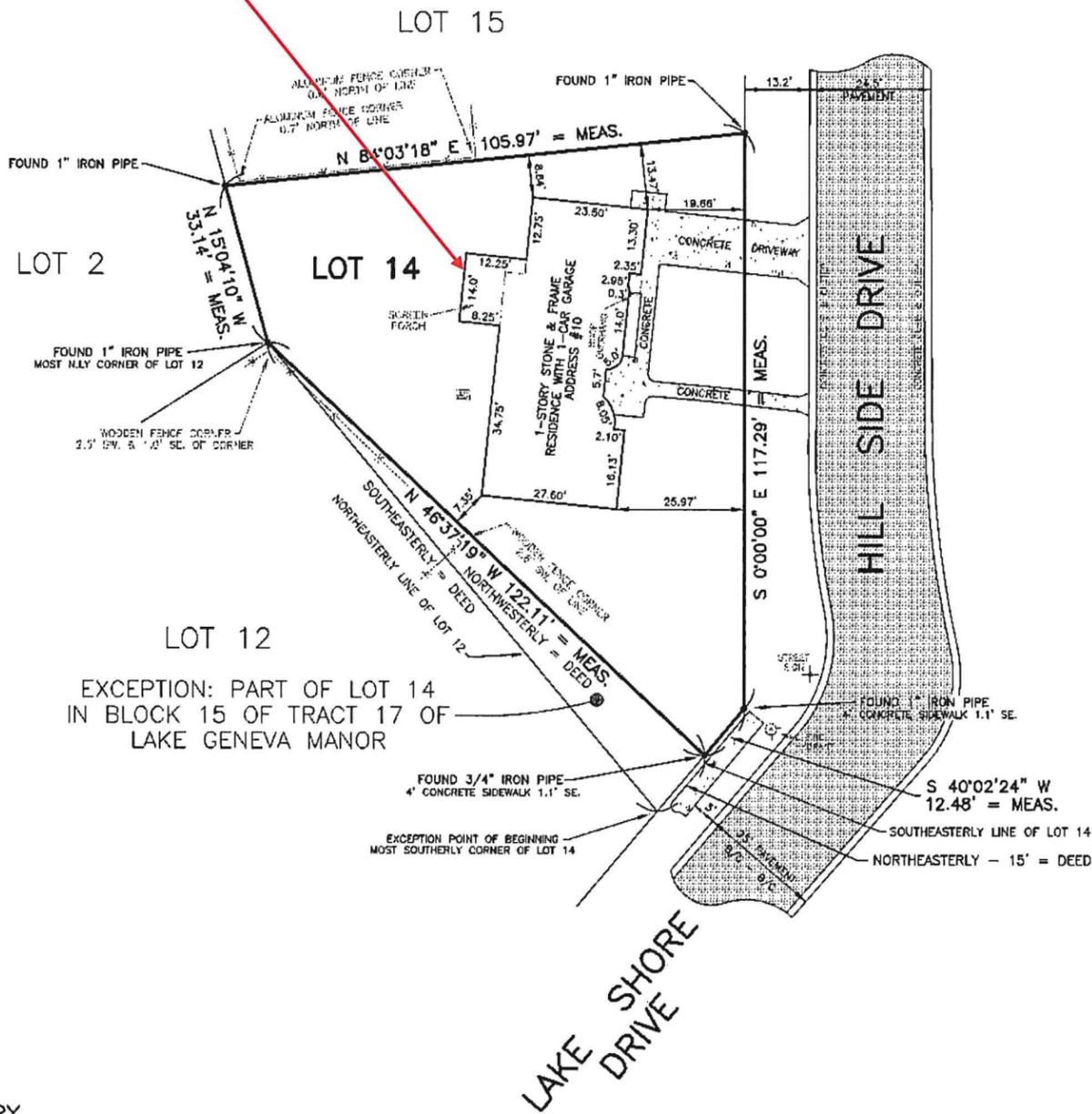
PLAT OF SURVEY



LEGAL DESCRIPTION:

LOT 14 IN BLOCK 15, TRACT NUMBER 17 OF LAKE GENEVA MANOR, AS PER THE PLAT RECORDED IN VOLUME 9 OF PLATS, PAGE 52, EXCEPTING A PIECE OF PARCEL CONVEYED BY QUIT CLAIM DEED DATED DECEMBER 21, 1944 AND RECORDED JANUARY 2, 1945 IN VOLUME 326 OF DEEDS, PAGE 303 TO ARMIN A. WILD, DESCRIBED AS FOLLOWS, TO WIT: BEGINNING AT THE MOST SOUTHERLY CORNER OF LOT 14, BLOCK 15, TRACT 17, LAKE GENEVA MANOR; THENCE NORTHEASTERLY ALONG THE BORDER LINE OF LOT 14, BLOCK 15 FRONTING LAKE SHORE DRIVE, 15 FEET; THENCE STRAIGHT IN A NORTHWESTERLY DIRECTION, TO THE MOST NORTHERLY CORNER OF LOT 12, BLOCK 15 OF SAID SUBDIVISION; THENCE IN A SOUTHEASTERLY DIRECTION ALONG THE NORTHEASTERLY BORDER LINE OF LOT 12, BLOCK 15 TO THE PLACE OF BEGINNING, IN WALWORTH COUNTY, WISCONSIN.

Existing Screen Porch



**LOT 14
AREA SUMMARY**
0.1876 ACRES ±
8,170 S.F. ±

Copyright © HLC 2019

Surveying
Engineering
Sept: Design
HLC SURVEYING
759 RIDGEVIEW DRIVE
McHENRY, ILLINOIS 60050
(815) 344-3252

P.I.N. #ZML0033	INDICATES IRON STAKE (UNLESS NOTED OTHERWISE)	BEARING SYSTEM : ASSUMED (UNLESS NOTED OTHERWISE)
PREPARED FOR: BRUCE GOLD	ADDRESS: 10 HILL SIDE DRIVE LAKE GENEVA, ILLINOIS	SCALE : 1" = 20'
DRAWN BY: TVA CHECKED BY: MTB	JOB NO. 2019-220 SUR	DATE : 9-26-2019
DATE OF FIELD WORK: 9-18-2019	DISK: 180023 FILE NAME: 19220 SUR	PAC. NO. 19220P
		REVISIONS

ABBREVIATIONS
 = R. DISTANCE ON RECORDED PLAT OF SUBDIVISION
 = REC. DISTANCE ON RECORDED PLAT OF SUBDIVISION
 = M. MEASURED OR CALCULATED DISTANCE
 = MEAS. MEASURED OR CALCULATED DISTANCE
 = RAD. RADIUS
 = ARC. ARC LENGTH
 = CHORD. CHORD LENGTH
 = CONC. CONCRETE
 = P.O.B. POINT OF BEGINNING
 = P.O.C. POINT OF COMMENCEMENT

SURVEYS ARE BASED UPON RECORDED SUBDIVISION INFORMATION IN CASES OF REGULAR SUBDIVISION LOTS. SURVEYS OF PROPERTIES NOT A PART OF A REGULAR SUBDIVISION ARE BASED UPON TITLE INFORMATION PROVIDED BY THE CLIENT OR PARTY REQUESTING THE SURVEY. PLATS OF SURVEY REFLECT INFORMATION DISCOVERED BY THE SURVEYOR IN THE NORMAL COURSE OF WORK AND DOES NOT NECESSARILY SHOW EVERY POSSIBLE CONDITION AFFECTING THE PROPERTY. EASEMENTS, SERVITUDES, BUILDING ORDINANCES, ZONING, AND OTHER LEGAL ENCUMBRANCES MAY EXIST AND ARE NOT SHOWN HEREON. CONSULT A TITLE ATTORNEY IF YOU WISH TO DISCOVER ANY OF THE LEGAL ENCUMBRANCES THAT MAY BE ATTACHED TO ANY PROPERTY.

REFER TO DEED OR GUARANTEE POLICY AND LOCAL ORDINANCES FOR BUILDING LINES AND EASEMENTS NOT SHOWN HEREON. COMPARE YOUR DESCRIPTION AND POINTS WITH THIS PLAT AND AT ONCE REPORT ANY APPARENT DIFFERENCE TO THE SURVEYOR.

BUILDING THE DIMENSIONS SHALL NOT BE USED TO DETERMINE LOT LINE LOCATIONS. THIS PLAT OF SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE POLICY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT WISCONSIN MINIMUM STANDARDS OF PRACTICE APPLICABLE TO BOUNDARY SURVEYS.

HLC SURVEYING IS A SERIES OF HERITAGE LAND CONSULTANTS, LLC. AN ILLINOIS LIMITED LIABILITY COMPANY.

ILLINOIS PROFESSIONAL LAND SURVEY AND PROFESSIONAL ENGINEERING DESIGN FIRM CORPORATION LICENSE NO. 184-004855 EXPIRES : 04/30/2021

STATE OF ILLINOIS
 S.S.
 COUNTY OF McHENRY

WE, HERITAGE LAND CONSULTANTS, LLC, DO HEREBY CERTIFY THAT WE HAVE SURVEYED THE PROPERTY DESCRIBED HEREON AND THAT THE PLAT DRAWN IS A REPRESENTATION OF SAID SURVEY. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.

GIVEN UNDER MY HAND AND SEAL AT McHENRY, ILLINOIS
 THIS 26th. DAY OF SEPTEMBER 2019

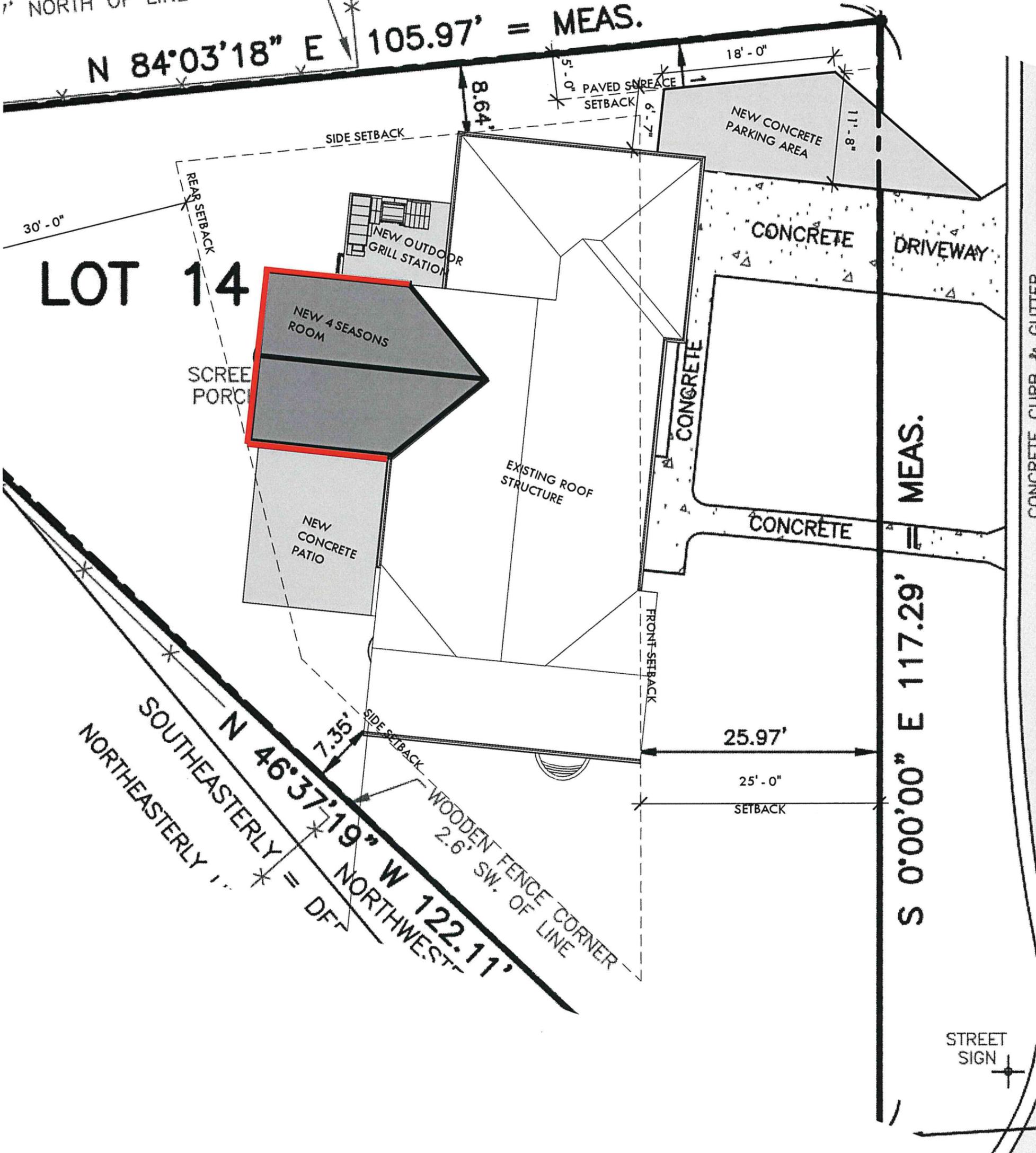
MARK T. BERNHARDT
 WISCONSIN PROFESSIONAL LAND SURVEYOR NO. 2219-B
 LICENSE RENEWAL DATE : 1-31-2020

LOI

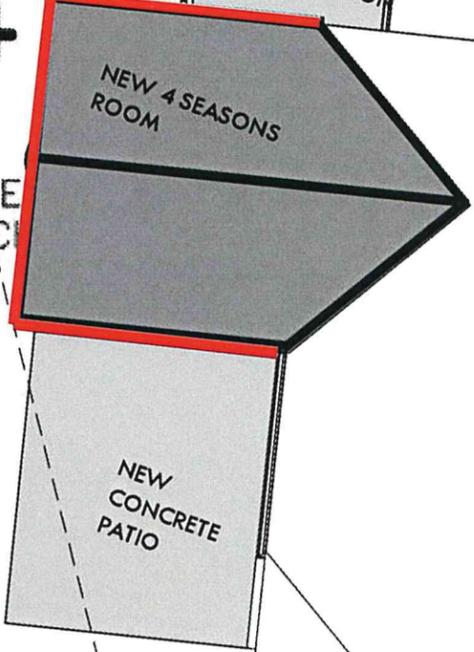
FOUND 1

ALUMINUM FENCE CORNER
0.6' NORTH OF LINE
NUM FENCE CORNER
' NORTH OF LINE

N 84°03'18" E 105.97' = MEAS.



LOT 14



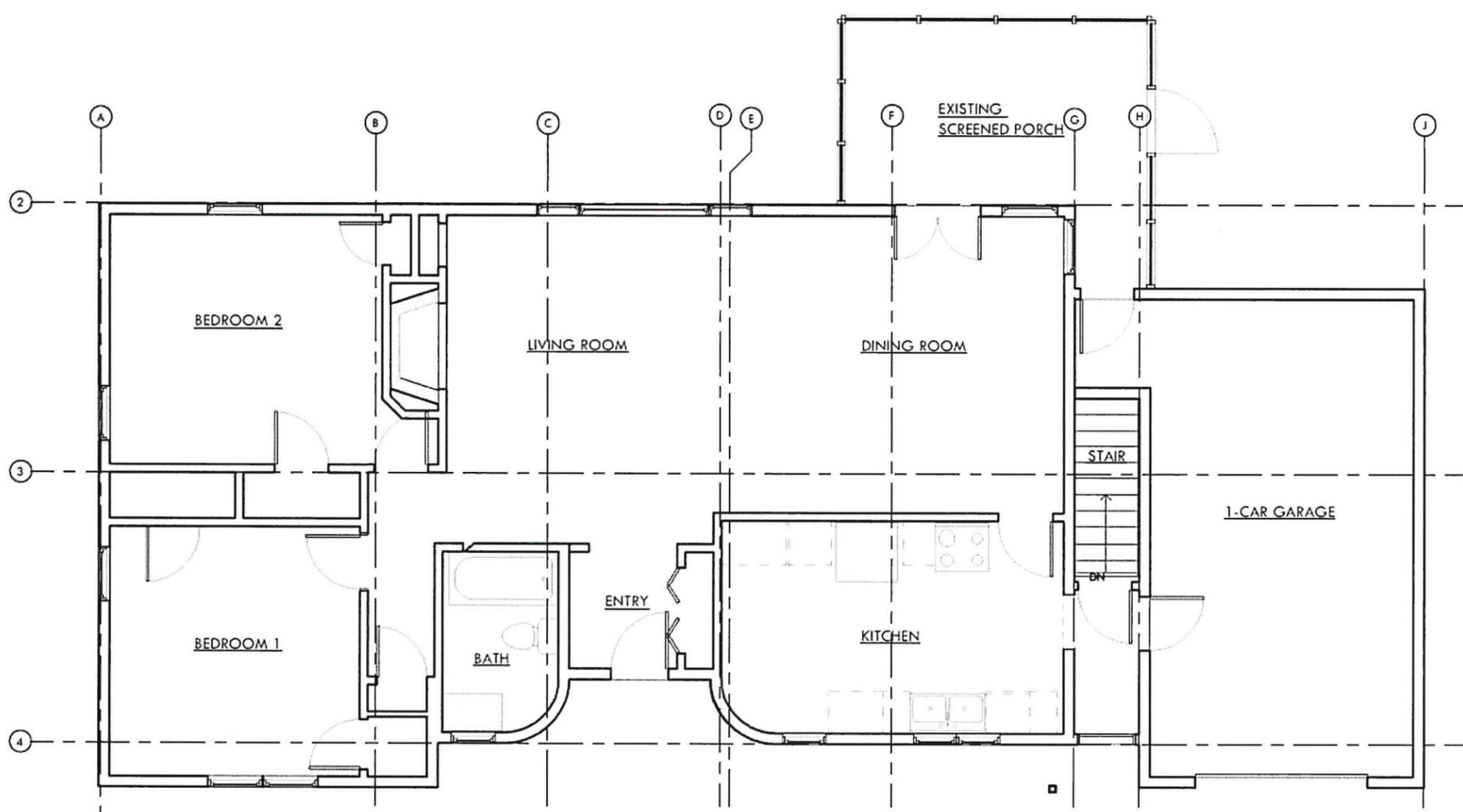
N 46°37'19" W 122.11' = MEAS.
SOUTHEASTERLY
NORTHEASTERLY

MEAS.

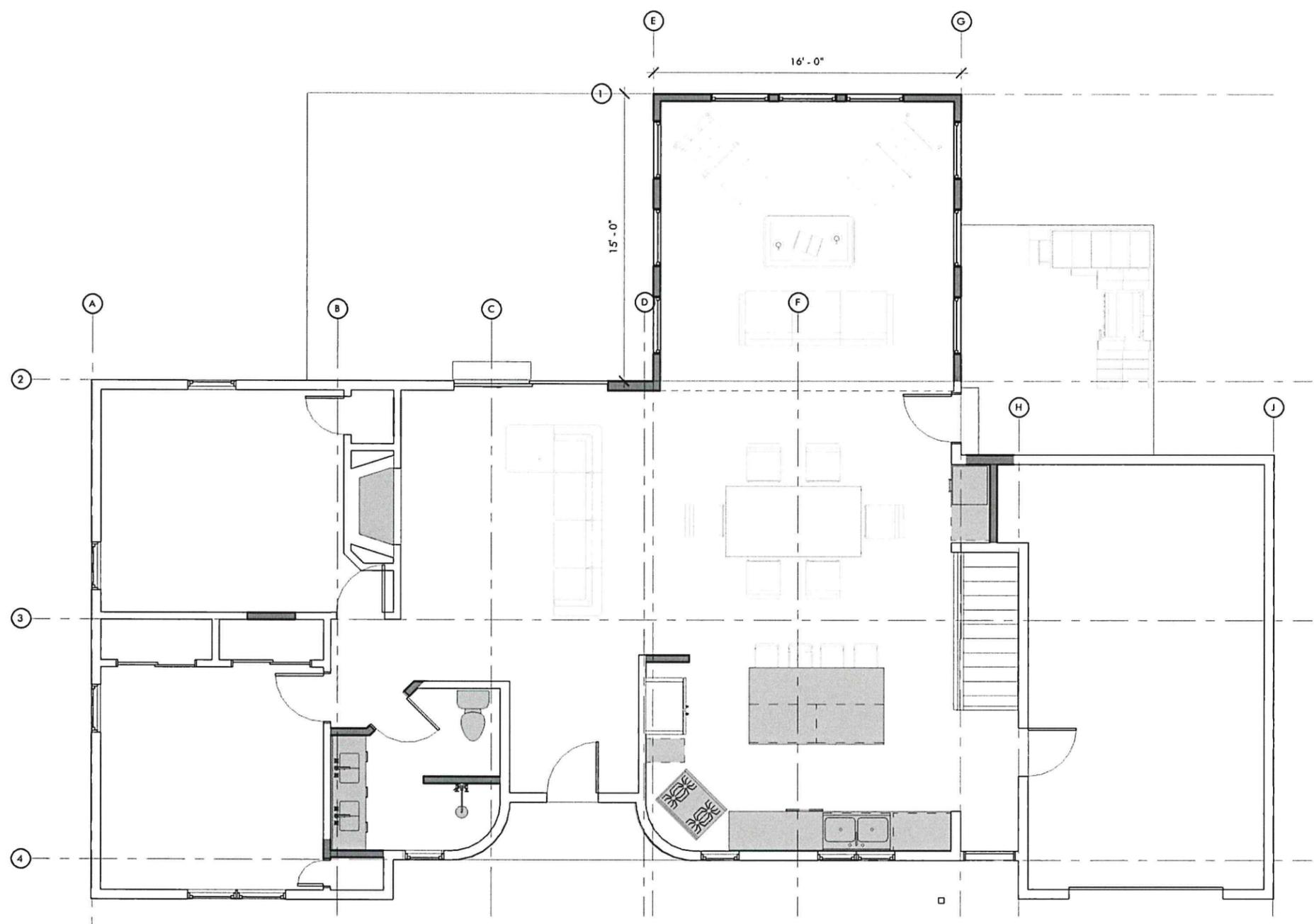
STREET SIGN

Proposed Site Plan

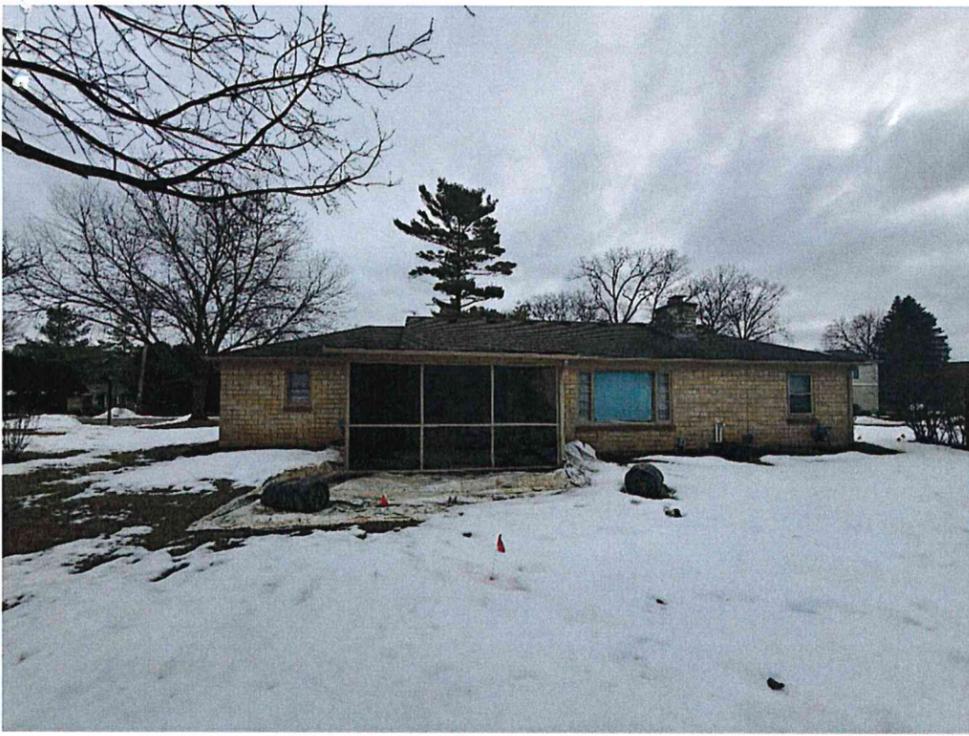




④ **EXISTING FIRST FLOOR PLAN**
 1/4" = 1'-0"
 N.T.S.



④ **FIRST FLOOR PLAN - PROPOSED**
 N.T.S.



Existing West/ Rear



Proposed West/ Rear



Existing South



Proposed South



Existing North



Proposed North